

VICINITY MAP



SHEET INDEX

- 1 Cover Sheet
- 2 Site Plan
- 3 Site Grading Plan
- 4 Landscape Plan
- 5 Landscape Details and Notes
- 6 Paving Plan
- 7 Utility plan
- 8 Utility Detail sheet 1
- 9 Site Details Sheet 2
- 10 Address & Traffic Control
- 11 Lighting site plan
- 12 Photometric plan
- 13 Floor plan
- 14 Elevations
- 15 Sections & Elevation details

PROJECT TEAM

Architect

Waugh and Associates
Architects/Planners
71 Bowen St.
Longmont, CO 80501
720-494-7602
Contact: David Waugh
Email: info@waughworld.com

Structural Engineer

Peak Engineering, Inc.
Consulting Structural Engineering
1687 Cole Boulevard
Lakewood, CO 80401
303-274-0707
Contact: John
Email: jhart@peakengr.com

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER

NFE Engineering Services
Johnstown, CO
970-587-7100
Contact: Ross Nichols
Email: ross7777@aol.com

CIVIL ENGINEER

Benchmark Engineers, PC
1920 Thomas Ave. Suite 200
Cheyenne, Wyoming 82001
307-634-9064
Contact: Kelly Hafner
Email: kellyh@benchmarkengineers.com

Owner

Bluestem Tech Center LLC,
a Colorado limited liability company
John-Peter B. D'Amico, Member
2727 Madison Drive
Longmont, CO 80503
303-818-1919
Contact: John D'Amico
Email: johndamico81@msn.com

LEGAL DESCRIPTION

ALL OF LOT 2, BLOCK 2, OF FIRESTONE CENTER, FIRST REPLAT, RECORDED ON 5/24/2004 AT RECEPTION NO. 3182747 AT THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER, BEING LOCATED IN THE SE1/4 OF SECTION 1, T2N, R68W OF THE 6th PM, TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO.

Containing 58,069 SQUARE FEET, OR 1.33 ACRES, MORE OR LESS

PROJECT CONCEPT

This Final Development Plan (FDP) is for the Bluestem Tech Center at the Firestone Center Development, which is located on Lot 2, Block 2, of the Firestone Center Subdivision, First Replat. A 12,480 SF Commercial, Retail, Office building shall be constructed on the 58,069 SF lot. The concept plan for this project is to construct a high quality business center that will attract regional commercial businesses. Contemplated uses are medical, dental, engineering, research and development, insurance and uses that are commercial and/or office related. Restaurants are permitted, providing the necessary water to operate them is dedicated to the town. The building shall not be divided into multiple ownerships and may be divided into separate tenant leases.

ZONING

This lot is zoned Planned Unit Development ("PUD") with the Regional Commercial land use category as specified in the Mountain Shadows Outline Development Plan recorded September 13, 2000.
Note: Industrial and warehouse land uses are not permitted in the Regional Commercial land use category.

BUILDING HEIGHT

The building height shown in this FDP is 22 feet, which is less than the maximum building height of 50 feet which is currently permitted pursuant to the Firestone Development Regulations for the Regional Commercial Land Use Category.

Gross Site Area:	1.33 Acres	58,069 Square Feet	100%
Estimated Floor Area:	.2865 Acres	12,480 Square feet	21%
Public ROW:	0 Acres	0 Square Feet	0%
Net Site Area:	1.0435 Acres	45,319 Square Feet	79%
Parking, Drives, Walks, Landscaping			

LAND USE TABLE

Building Coverage:	.2865 Acres	12,480 Square Feet	22%
Parking, Drives and Walks:	.836 Acres	36,425 Square Feet	62%
Landscape Areas: Existing	.038 Acres	1,655 Square Feet	3%
Proposed	.172 Acres	7,357 Square Feet	13%

Parking Allowances:	Parking Provided	Parking / Sq. Ft.
Business/ Commercial	48 Spaces	1/ 260 Sq. Ft
Bicycle Parking:	Provided	Required
5% Vehicle Parking	4 spaces Fixed	2.4 Fixed

ENVIRONMENTAL IMPACT MITIGATION

There is no evidence of recognized environmental conditions in connection with this site. No wetlands are located at the site.

PRIVATE MAINTENANCE AND ENFORCEMENT

This site will be privately maintained. Necessary cross access and utility easements, as well as agreements for any common roadways and/or access points are provided as part of the Firestone Center Development.

PARKS, TRAILS AND OPEN SPACE

No new parks, trails, or open space, are provided with this FDP. The Existing Landscaping identified on page four (4) of the Landscape plan shall be replaced to comply with the Firestone Center Subdivision and maintained by the owner.

ADA COMPLIANCE

This FDP Site Plan has been designed to comply with the American's With Disabilities Act.

REAR OVERHEAD DOOR USE AND RESTRICTIONS

The rear overhead doors will be used for loading and unloading materials, equipment and goods into the building. These doors are to remain closed at all other times. Maximum time limit for loading and unloading shall be one hour between the hours of 8:00 am to 6:00 pm Monday through Saturday.

WATER METER TABLE

QUANTITY	SIZE	TYPE
1	1"	COMMERCIAL
0	-	IRRIGATION

FINAL DEVELOPMENT PLAN

BLUESTEM TECH CENTER

COVER SHEET

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO

11052 CIMARRON STREET

SHEET 1 OF 15

SIGNAGE

One (1) Monument sign shall be located at the main center entrance of the lot within the landscape buffer. The "Bluestem Tech Center" sign shall match the building architectural theme and be low-lying with lighting projected towards the sign to minimize projection of light. The front facade of the building shall have individual signage for each tenant. The monument sign shall be no more than three (3) feet above grade and no more than 24 feet long.

No temporary signs shall be allowed on the exterior of the building. No vinyl coverings shall be affixed to the glass that exceeds 5% coverage. No inflatable advertising shall be allowed on the property or building.

The front facade (south elevation) of the building shall have individual signage for each tenant (Tenant Signs). No other lighted signs shall be allowed on the building or grounds.

All signs shall be consistent with the size, shape and type noted within the Final Development Plan drawings although actual letters', sign text, material, mounting height and area may change from the depicted drawings. The owner reserves the right to not install any of the Tenant Signs shown on the Final Development Plan drawings. All other signs shall be installed by the developer as depicted in the Final Development Plan drawings, including but not limited to the Monument sign, rear (north) signage that is not lighted and directional signs. Signs located at the north side of the building shall not be lighted.

SPECIFIC SIGN CRITERIA

Monument sign shall be constructed of a concrete face and base to match front facade of building. Overall size will be 3'x24' depicting "Bluestem Tech Center" with address. The maximum letter height shall be 18". Two ground mounted directional lights on each side of sign illuminating the sign only. Directional signs shall be post mounted metal painted signs on 20 gauge sheet metal. Maximum size shall be 24" x 24". Posts shall be 2"x2" aluminum or steel tube set 3' into finished grade. Maximum overall height shall be 8'-6" above finished grade.

PARKING RESTRICTIONS

No storage container shall be permitted on site except for loading and unloading. No materials or equipment shall be stored outside the building. The rear parking area shall be limited to customers and employees of the building and shall not be used for storage of any kind. Maximum time limit for loading and unloading shall be one hour between the hours of 8:00 am to 6:00 pm Monday through Saturday.

CONTROLS

The declaration of reciprocal easements and restrictions are provided as part of the Firestone Center Development.

SITE SPECIFIC RESTRICTIONS

Outdoor seating shall be allowed only at the south side of the building. Any outdoor music shall be no louder than the existing decibel reading allowed by the town. Speakers shall be allowed on the south side of the building only.

DRAINAGE AND GRADING

Refer to the final drainage letter for a description of the Storm Drainage for this FDP. The letter is dated July 1, 2016 and was prepared Benchmark of Cheyenne, P.C. The letter is filed with this FDP. An area drainage facility is included with this project. The detention facility is located in Tract A, Firestone Center

UTILITIES

The Development shall be served by the following utility companies:

1. Gas - Black Hills Energy
2. Power - United Power
3. Telephone - Century Link
4. Water - Town of Firestone
5. Sanitary Sewer - St. Vrain Sanitation District
6. Police - Town of Firestone
7. Fire - Frederick-Firestone Fire Protection District
8. Recreation - Carbon Valley Recreation District

WATER DEMAND CALCULATION

Water dedication was determined based on information provided by the owner. The total amount of CBT water dedicated to the town was calculated based on acres of irrigated landscaping on the site and total estimated domestic (in building) demand. The town shall at all times have the right to secure additional water dedication if actual consumption exceeds this calculated estimate. If the town determines that additional CBT water is to be dedicated, the lot owner shall provide the water within 30 days written notice by the town. The additional dedication shall be based on the towns then current water dedication policies.

The town of Firestone has determined the required CBT dedication to be;

Irrigation Demand = 0.43 CBT Units
Domestic Demand = 2.50 CBT Units

A total of three (3) CBT units shall be transferred to the town of Firestone prior to issuance of any certificate of occupancy.

*The water dedication for the existing landscaping along the north of this lot is not included in any of these calculations, because the water dedication was previously satisfied with the Firestone Center FDP Rec. No. 3100399.

ARCHITECTURE

A freestanding 12,480 sq. ft., single story building designed as "B" occupancy and a Type "IIIB" construction shall be constructed at the site. The building shall be designed with a high quality contemporary architectural look, using a complimentary color and accent scheme. The overall building background will be painted Sleek White, SW1018. The overhead doors and accent areas will be painted Skyline Steel SW1015. The awnings, and building sign mounts will be painted aluminum metallic. This color scheme is designed to fit with other existing building color schemes located in the Firestone Center. The exterior materials include Tilt-Wall concrete and full-front glass. The roof material will be made up of a steel deck covered with 3" rigid insulation with a TPO cover. The architectural theme is consistent with the Firestone Center and similar in character to the UCHHealth Emergency Clinic.

SETBACKS

Principal building setbacks are as dimensioned on the FDP, see Site Plan sheet. All setbacks meet Firestone Development Regulations and Building Codes.

Minimum building setbacks require that no building shall be constructed: on utility or drainage easements; or within 200' of the existing gas well site located on Tract A.

The east elevation of the building is set back 17.2', the north elevation of the building is set back 71', the south elevation of the building is set back 126' and the west elevation of the building is set back 21.5'.

DEVELOPMENT SCHEDULE

Construction Start: Third quarter, 2016
Tech Center opening: First quarter, 2017

Submission to the Building Department is projected to begin after acceptance of the Final Development Plan by the Town of Firestone. Construction of the building is projected within six (6) months of building approval.

ACCEPTANCE BLOCK AND NOTARY

By signing this Final Development Plan, the Owner acknowledges and accepts all of the requirements and intent set forth within.

John-Peter B. D'Amico

Bluestem Tech Center, LLC, a Colorado limited liability company
John-Peter B. D'Amico, Member

State of Colorado

County of Weld

The foregoing instrument was acknowledged before me this 14th day of October, 2016, by JOHN-PETER B. D'AMICO

Witness my hand and official seal



Stephanie Pratt
Notary Public

10-19-2019
My Commission expires

APPROVAL

Approved by the Town Board of Trustees of the Town of Firestone, Colorado this 18th day of September, 2016 by Resolution No. 16-29

Paula Sora
Mayor



Attest: Town Clerk

FIRESTONE INFORMATION BLOCK

COVER SHEET	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 1 OF 15	

Owner
Bluestem Tech Center LLC,
a Colorado limited liability company
John-Peter B. D'Amico, Member
2727 Madison Drive
Longmont, CO 80503
303-818-1919
Contact: John D'Amico
Email: johndamico81@msn.com

REVISIONS:

DRAWN BY: T. WAUGH

BLUESTEM TECH CENTER
TOWN OF FIRESTONE, COLORADO
FIRESTONE CENTER
waugh & associates
architecture • planning • solar design

po box 498 • hwy 66 • firestone, colorado • 80544 • 720-494-7602

www.waughandassociates.net

e-mail info@waughworld.com

DATE:
15 APRIL 2016

COVER
SHEET

LEGEND

SITE LIGHTPOLE	
PROPOSED DRAINAGE ARROW	
PROPOSED BLDG	
ASPHALT PAVEMENT	
LANDSCAPED AREAS (NEW AND EXISTING)	
PEDESTRIAN-SCAPE - FRONTAGE	
TRASH CONTAINMENT AREA	
UTILITY COURTYARD	
PROPERTY LINE	
STORM SEWER EXISTING/PROPOSED	
IRRIGATION WATER PROPOSED	
POTABLE WATER EXISTING/PROPOSED	
SANITARY SEWER EXISTING/PROPOSED	
GAS SERVICE EXISTING/PROPOSED	
ELECTRICAL SERVICE EXISTING/PROPOSED	
TELECOM SERVICE EXISTING/PROPOSED	

NOTES

1. MATCH EXISTING LIGHTING TO BE CONSISTENT WITH LIGHTING IN THE FIRESTONE CENTER SUBDIVISION.
2. ALL TREES AND SHRUBS SHALL BE ON A DRIP IRRIGATION SYSTEM.
3. NEAREST FIRE HYDRANT SOUTH ACCESS ROAD (APPROX. 20' FROM CENTER OF SOUTH LOT LINE).

SITE PLAN COMPUTATIONS

AREA SUMMARY:

LOT AREA	1.33 ACRES	
SITE PLAN AREA (LOT)	58,069 S.F.	(100%)
NEW BUILDING AREA COVERAGE:	12,480 S.F.	(21.5%)
PARKING, WALKS, & DRIVES:	32,611 S.F.	(56.2%)
SITE COVERAGE:	45,091 S.F.	(77.7%)
LANDSCAPED AREA		
EXISTING TO REMAIN	3,022 S.F.	(5.2%)
NEW	7,092 S.F.	(12.2%)
TOTALS	10,114 S.F.	(17.4%)
PEDESTRIAN-SCAPE	2,869 S.F.	(4.9%)

BUILDING PROVISIONS:

HEIGHT	22 FT.
FOOTPRINT (GROSS)	12,480 SQ. FT.

PARKING PROVISIONS:

	PROVIDED	REQUIRED
PATRON PARKING	32 SPACES	-- SPACES
EMPLOYEE PARKING	14 SPACES	-- SPACES
ADA PARKING	2 SPACE	2 SPACE
	48 SPACES	-- SPACES

SITE LANDUSE

EXISTING LANDUSE: VACANT/OPEN SPACE
 PROPOSED LANDUSE: COMMERCIAL
 SURROUNDING LANDUSE:
 NORTH: RESIDENTIAL
 SOUTH: COMMERCIAL
 EAST: COMMERCIAL
 WEST: COMMERCIAL

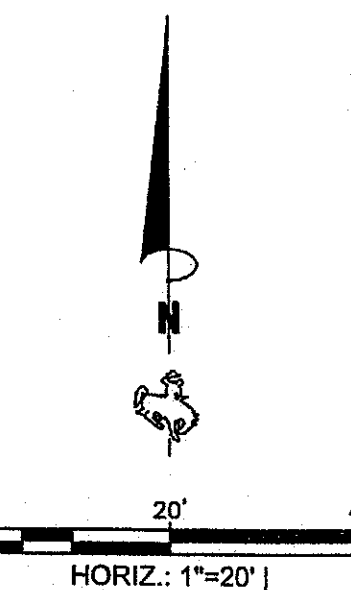
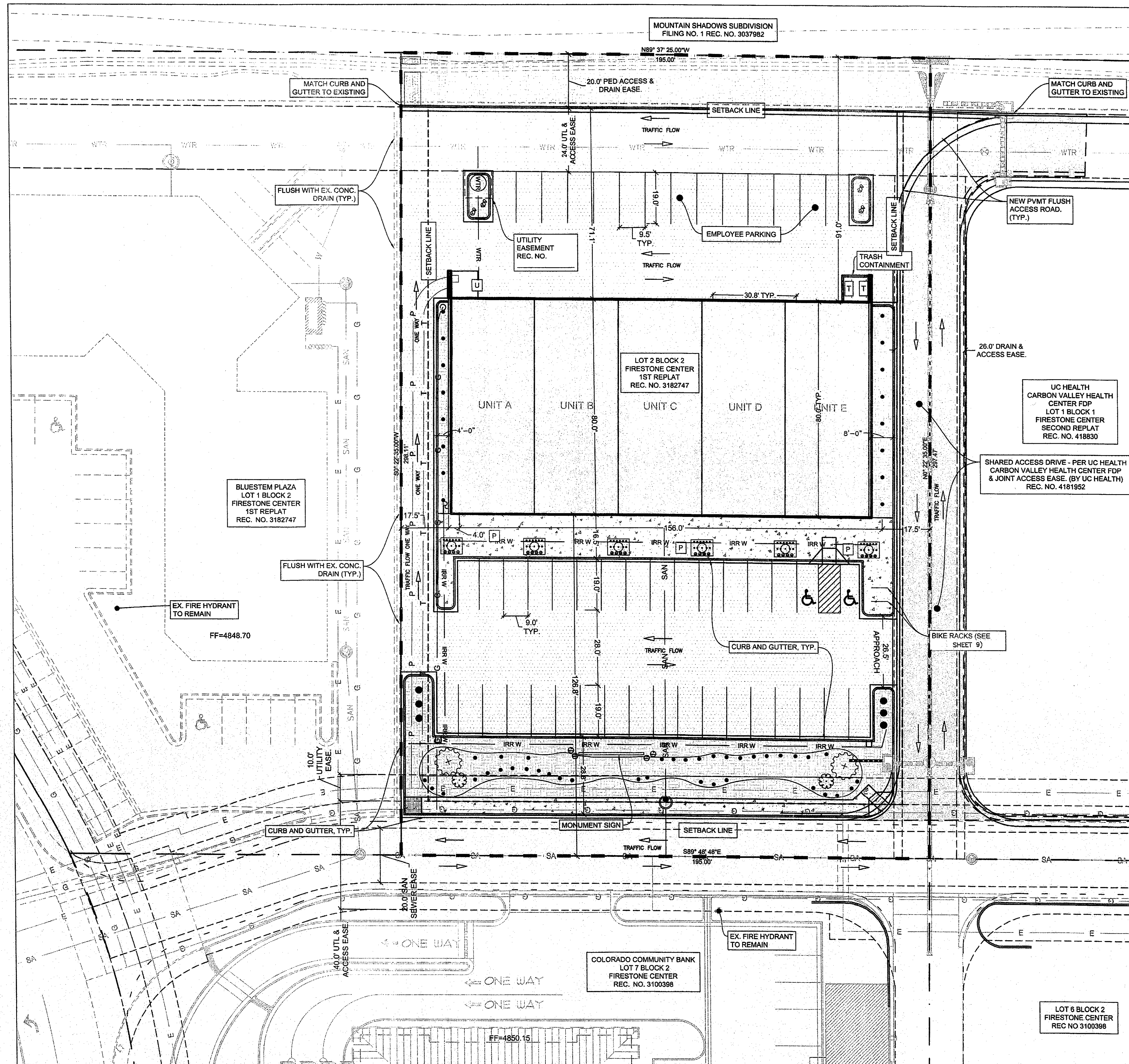
SITE ZONING

EXISTING ZONING: COMMERCIAL PUD-RC
 PROPOSED ZONING: NO CHANGES (PUD-RC)
 SURROUNDING ZONING:
 NORTH: PUD R-A
 SOUTH: PUD RC
 EAST: PUD RC
 WEST: PUD RC

NOTES

1. SEE LANDSCAPE PLAN FOR LANDSCAPING FEATURES.
2. THERE ARE NO PHYSICAL CURB CUTS TO ADJACENT PUBLIC ROADS.

FINAL DEVELOPMENT PLAN BLUESTEM TECH CENTER SITE PLAN TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO SHEET 2 OF 15



BME

BenchMark
ENGINEERS, PC

1920 THOMAS AVENUE
SUITE 200
CHEYENNE, WY 82001
307.634.9064
www.BenchMarkEngineers.com

FIRESTONE INFORMATION BLOCK	
SITE PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 2 OF 15	

FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
SITE GRADING PLAN
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 3 OF 15

LEGEND

LIMITS OF CONSTRUCTION	---
PROPERTY LINE	---
PROPOSED PERIMETER EROSION PROTECTION	---
STORM SEWER - EXISTING/PROPOSED	---
DITCH / SWALE LINE	---
CONTOURS - EXISTING / PROPOSED	0000.00 / 0000.00
GENERAL DRAINAGE DIRECTION	---
FINISHED FLOOR ELEVATION	FEE
TOP OF CONCRETE SLAB OR SIDEWALK	TOS
EXISTING GRADE	EG
FLOWLINE	FL
FINISH GRADE	FG
MATCH EXISTING	MATCH
TOP BACK OF CURB	TBC
HIGH POINT	HP
LOW POINT	LP

GRADING AND EROSION CONTROL NOTES

GENERAL GRADING NOTES

- VERTICAL DATUM: NGVD 29 AS ESTABLISHED BY KING SURVEYORS.
- GEOTECHNICAL REPORT AND REFERENCE:
GEOTECHNICAL ENGINEERING REPORT, BORGMANN PROPERTY NORTHWEST OF WELD COUNTY ROADS 13 & 24 BY TERRACON, DATED JAN 7, 2000.
- PROJECT GENERAL SPECIFICATIONS:
TOWN OF FIRESTONE GENERAL SPECIFICATIONS AND STANDARD DETAILS (CURRENT EDITION) OBTAINED AT WWW.FIRESTONE.GOV UNDER ENGINEERING, CONSTRUCTION STANDARDS AND SPECIFICATIONS.

ENGINEERING FILL MATERIAL AND BED COURSE MATERIALS (OUTSIDE OF BUILDING SECTIONS) SHALL BE PLACED AND COMPACTED IN HORIZONTAL LIFTS AND SHALL MEET THE FOLLOWING COMPACTION REQUIREMENTS:

MATERIALS

	MINIMUM PERCENT (ASTM D699)
1. SCARIFIED SUBGRADE SOILS (CIVIL NON-STRUCTURAL)	95-98% (+/- 2% OPTIMUM MOISTURE CONTENT)
2. ON-SITE AND IMPORTED FILL SOILS:	
BENEATH FOUNDATIONS	(SEE STRUCTURAL PLANS)
BENEATH CIVIL LANDSCAPED AREAS	95% (+/- 2% OPTIMUM MOISTURE CONTENT)
BENEATH PAVEMENTS	95% (+/- 2% OPTIMUM MOISTURE CONTENT)
3. AGGREGATE BASE COURSE	95% (+/- 2% OPTIMUM MOISTURE CONTENT)
4. MISCELLANEOUS TRENCHING & BACKFILL	95% (+/- 2% OPTIMUM MOISTURE CONTENT)

ROADWAYS INCLUDE PARKING LOT DRIVE AREAS AND STALLS. MAXIMUM LIFTS = 8" FOR EARTHWORK EMBANKMENT. REMOVAL AND/OR IMPORT FOR EXCAVATION AND EMBANKMENT MATERIALS SHALL BE RESPONSIBILITY OF THE CONTRACTOR. IMPORTED SOILS FOR CIVIL SITE WORK SHALL MEET CRITERIA OUTLINED BELOW:

GRADATION	PERCENT PASSING BY WEIGHT (ASTM C136)
6"	100%
3"	70-100%
No. 4 Sieve	50-100%
No. 200 Sieve	40% (MAX.)
LIQUID LIMIT	30 (MAX.)
PLASTICITY INDEX	15 (MAX.)

OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN ASSUME DIRT GRADE IN LANDSCAPE AREAS IS 6-INCHES BELOW FINISHED GRADE SHOWN ON THESE PLANS.

SEE OTHER SHEETS FOR SURFACING SECTIONS.

EROSION CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STORMWATER & EROSION CONTROL PERMIT ASPECTS INCLUDING DEVELOPMENT, IMPLEMENTING, AND MAINTAINING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THROUGH SUBSTANTIAL COMPLETION OR AS OTHERWISE APPROVED BY THE OWNER.

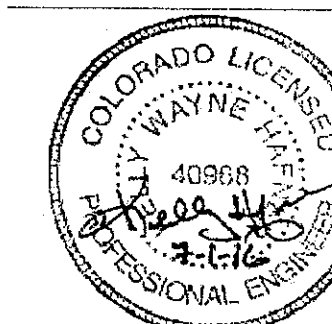
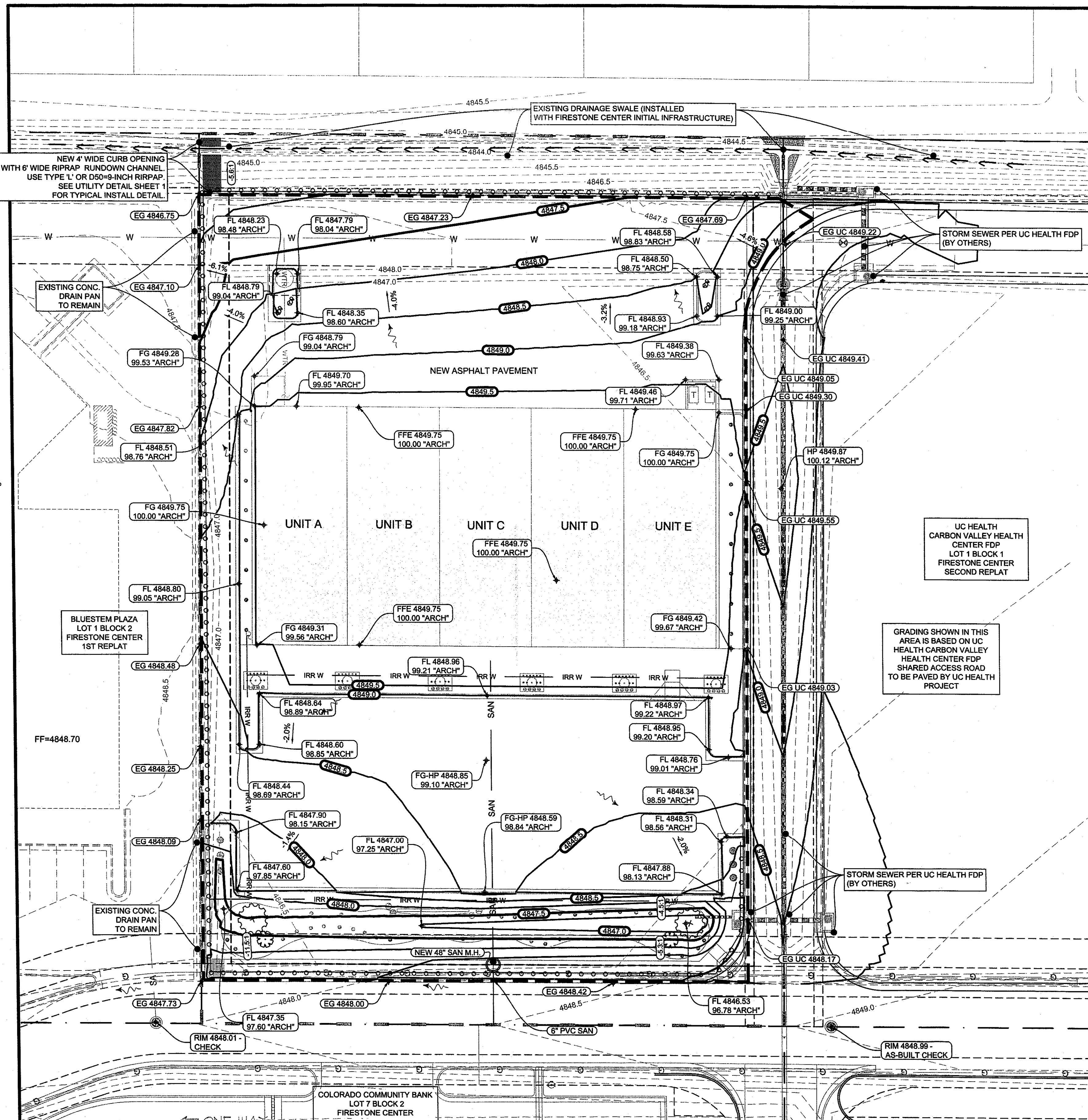
THE CONTRACTOR SHALL INCLUDE IN THE PERMIT REQUIRED STORMWATER MANAGEMENT PLAN (SWMP OR SWPPP) PROVISIONS TO CONTROL STORMWATER RUNOFF, DUST AND MUD FROM ALL ANTICIPATED CONSTRUCTION ACTIVITIES AND ADJOINING PAVED STREETS, STORM SEWER AND CHANNELS; PER PERMIT AND CITY/STATE REQUIREMENTS.

SWMP & SWPPP NOTES:

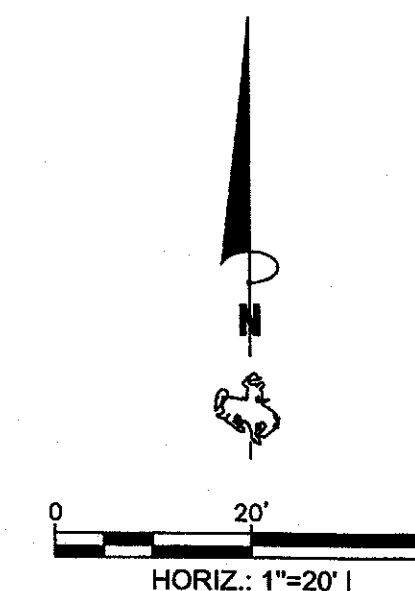
TOTAL PROJECT:	1.33 ACRES +/-
AREA OF DISTURBANCE:	1.10 ACRES +/-
WATERSHED:	ST. VRAIN RIVER
CLOSEST STORM SEWER:	ADJOINING ACCESS ROAD (EAST SIDE OF PROJECT)

PRE-DEVELOPMENT SITE:	8% IMPERVIOUS
POST DEVELOPMENT SITE:	83% IMPERVIOUS

PERIMETER EROSION CONTROL PROTECTION AND TRACKING CONTROL PAD REQUIRED ONLY UNTIL TIME OF PAVING PARKING LOT



USE FOR CONSTRUCTION SUBJECT TO
TOWN OF FIRESTONE DEVELOPMENT
AND PERMIT APPROVALS



BME

BenchMark
ENGINEERS, PC

1920 THOMAS AVENUE
SUITE 200
CHEYENNE, WY 82001
307.634.9084
www.BenchMarkEngineers.com

FIRESTONE INFORMATION BLOCK	
SITE GRADING PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 3 OF 15	

FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
LANDSCAPE PLAN
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 4 OF 15

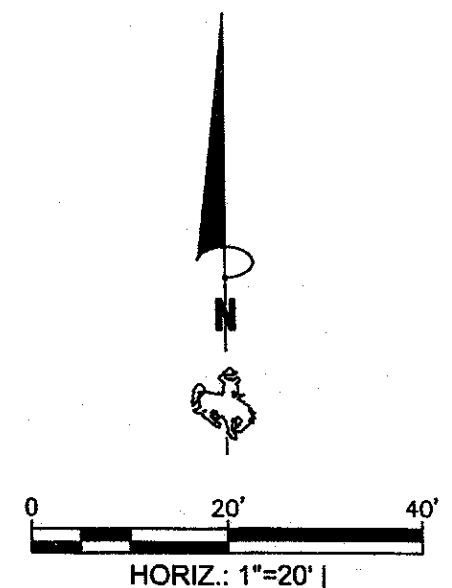
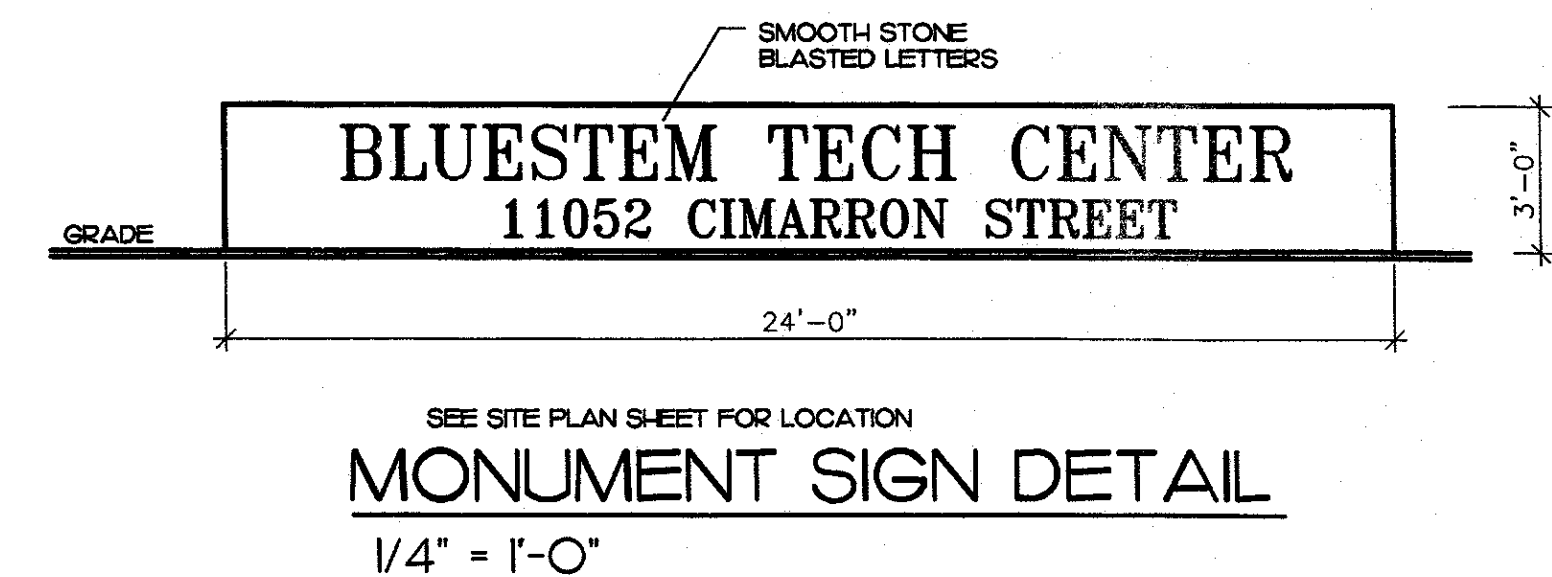
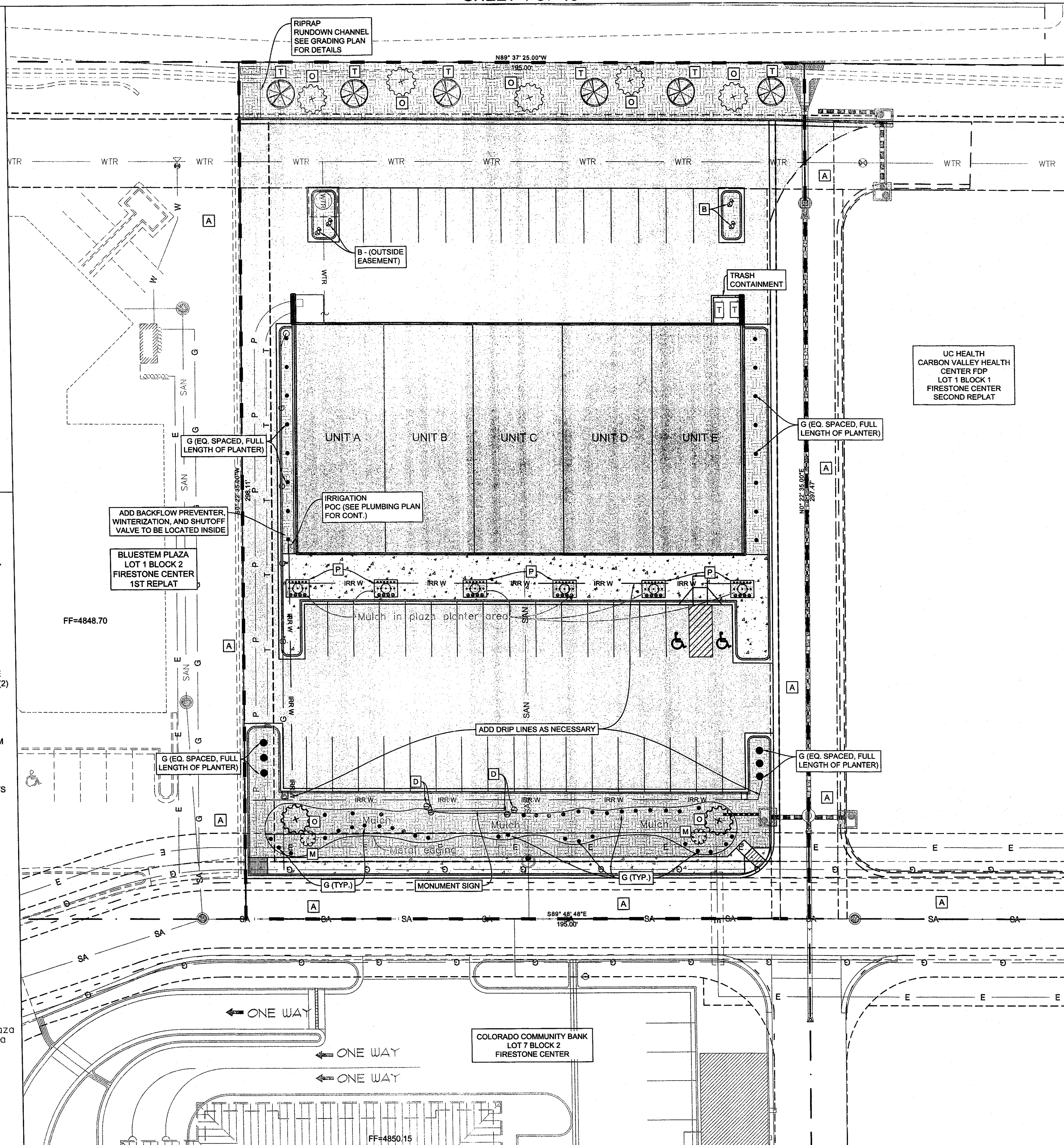
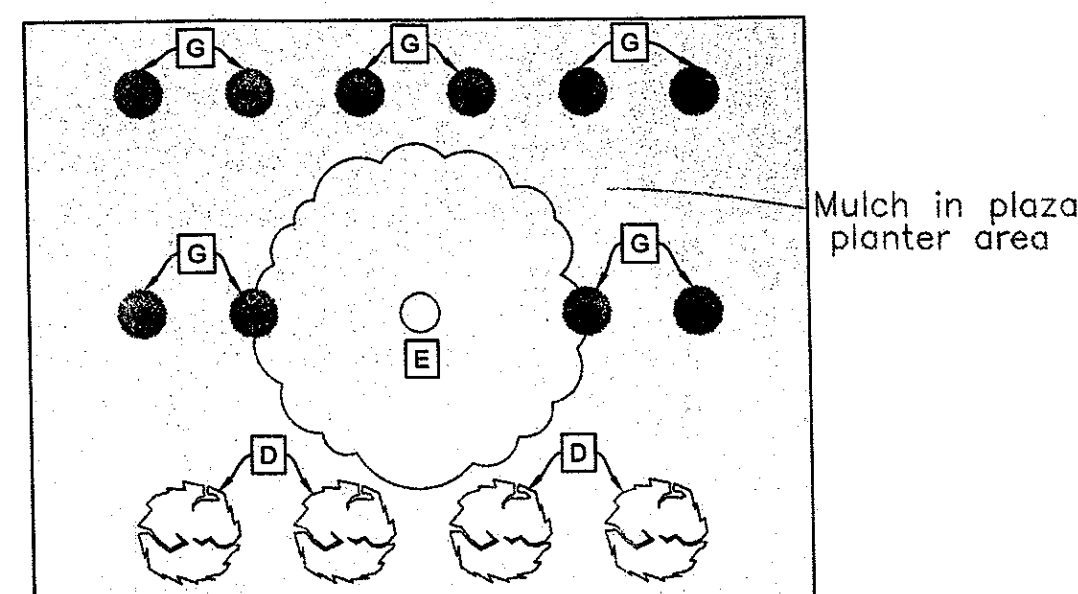
LANDSCAPING AND IRRIGATION LEGEND

- G** LITTLE BLUESTEM, SCHIZACHYRIUM SCOPARIUM, 5 GALLON SIZE, 120
- D** DWARF GLOBE BLUE SPRUCE, PICEA PUNGEONS "GLOBOSA", 5 GALLON SIZE, 28
- B** BOULDER, GRANITE OR SANDSTONE, 18" MINIMUM DIAMETER, 4
- E** COLUMN ENGLISH OAK, QUERCUS RUBRA "FASTIGIATA", 2" CALIPER, DBH MINIMUM SIZE, 6
- O** NORTHERN RED OAK, QUERCUS RUBRA, 2" CALIPER, DBH MINIMUM SIZE, 5
- M** WILD PLUM, PRUNUS AMERICANA, 5 GALLON SIZE, 2
- T** AUSTRIAN PINE, PINUS NIGRA, 4" CALIPER, DBH MINIMUM SIZE, 6
- IRR W IRRIGATION MAIN LINE
- PROPOSED BLDG
- PROPOSED ASPHALT
- EXISTING ASPHALT PAVEMENT
- LANDSCAPED AREAS (NEW AND EXISTING)
- PROPOSED CONCRETE
- PLANTING BED (PEDESTRIAN SCAPE)
- METAL EDGING FOR LANDSCAPE AREA

GENERAL NOTES

- DEVELOPER WILL INSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT OR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- ROCK AND MULCH: ALL LANDSCAPE AREA NOT LABELED TO HAVE MULCH SHALL HAVE GREY 75" CRUSHED GRANITE ROCK, WASHED AND SCREENED. NO SOD WILL BE UTILIZED IN THE LANDSCAPE DESIGN TO ASSIST IN THE CONSERVATION OF WATER. CEDAR FIBER MULCH SHALL BE INSTALLED TO A MINIMUM OF 3" IN DEPTH IN THE SIX (6) PEDESTRIAN PLANTER AREAS AND WITHIN THE AREA BORDERED BY THE METAL EDGING.
- MONUMENT SIGN: THE MONUMENT SIGN IS TO HAVE A MINIMUM SETBACK OF 10', MAXIMUM AREA OF 72 SQUARE FEET, MAX HEIGHT OF 3', AND LIGHTING IS PERMITTED.
- IRRIGATION: THE INTENT OF THE IRRIGATION PLAN IS TO PROVIDE A DRIP SYSTEM TO ALL PROPOSED SHRUBS AND TREES PER THE PLANT NEEDS. FINAL DETAILS OF INSTALLATION AND DESIGN ARE TO BE PROVIDED BY THE IRRIGATION CONTRACTOR. ALL SHRUBS WILL BE PROVIDED WITH ONE (1) GPH DRIP HEAD. ALL TREES WILL BE PROVIDED WITH TWO, TWO (2) GPH DRIP HEADS.
- BORDER EDGING: BED EDGER SHALL BE "PERMALOC" OR "CURV-RITE" 1/16" x 4" ALUMINUM EDGING, MILL FINISH. INSTALL BETWEEN BEDDED AREAS AND ROCK.
- DRAINAGE SWALES: ALL SHRUB AND TREE PLANTINGS SHALL BE KEPT OUT OF THE BOTTOM OF DRAINAGE SWALES.
- LANDSCAPE CORRIDOR: THE LANDSCAPE CORRIDOR ON THE NORTH PROPERTY LINE AND ADJACENT TO MOUNTAIN SHADOWS SHALL RECEIVE TYPE I SEED AND WILL BE IRRIGATED WITH SMALL RADIUS SPRAY (DONE IN PREVIOUS FIRESTONE CENTER FINAL DEVELOPMENTS 8-21-03). PROPER IRRIGATION STANDARDS WILL BE PROVIDED TO THE ADDITIONAL LANDSCAPE INSTALLED IN THE NORTH LANDSCAPE CORRIDOR AS INDICATED IN THE LANDSCAPE PLAN.

P PEDESTRIAN PLAZA PLANTER DETAIL



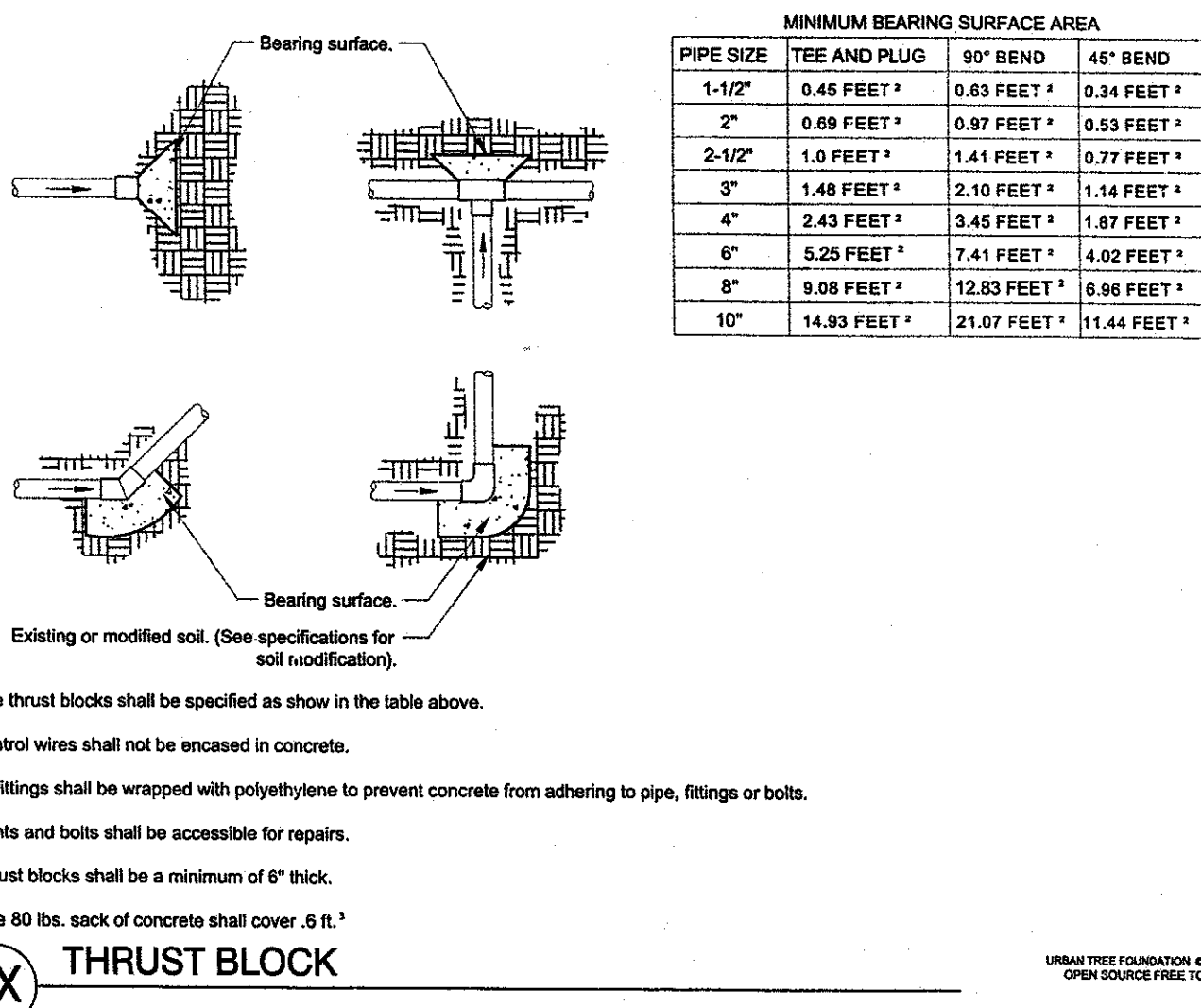
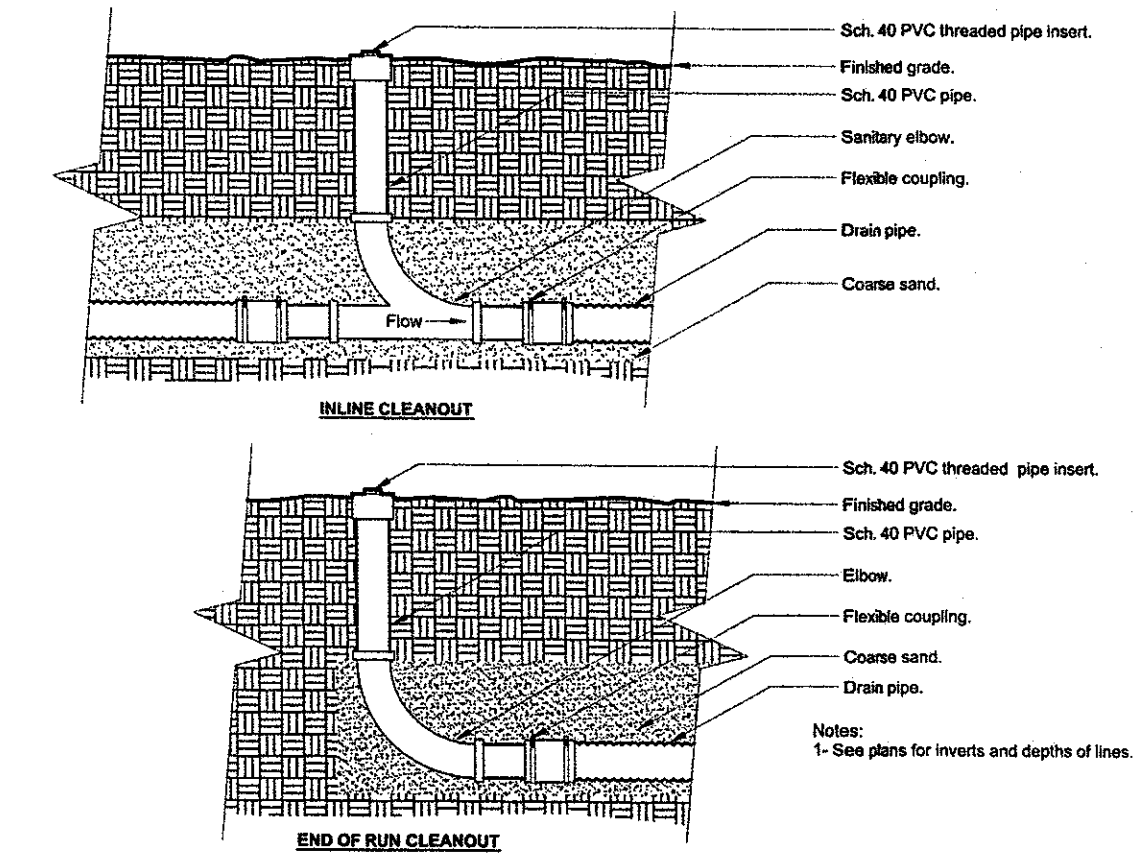
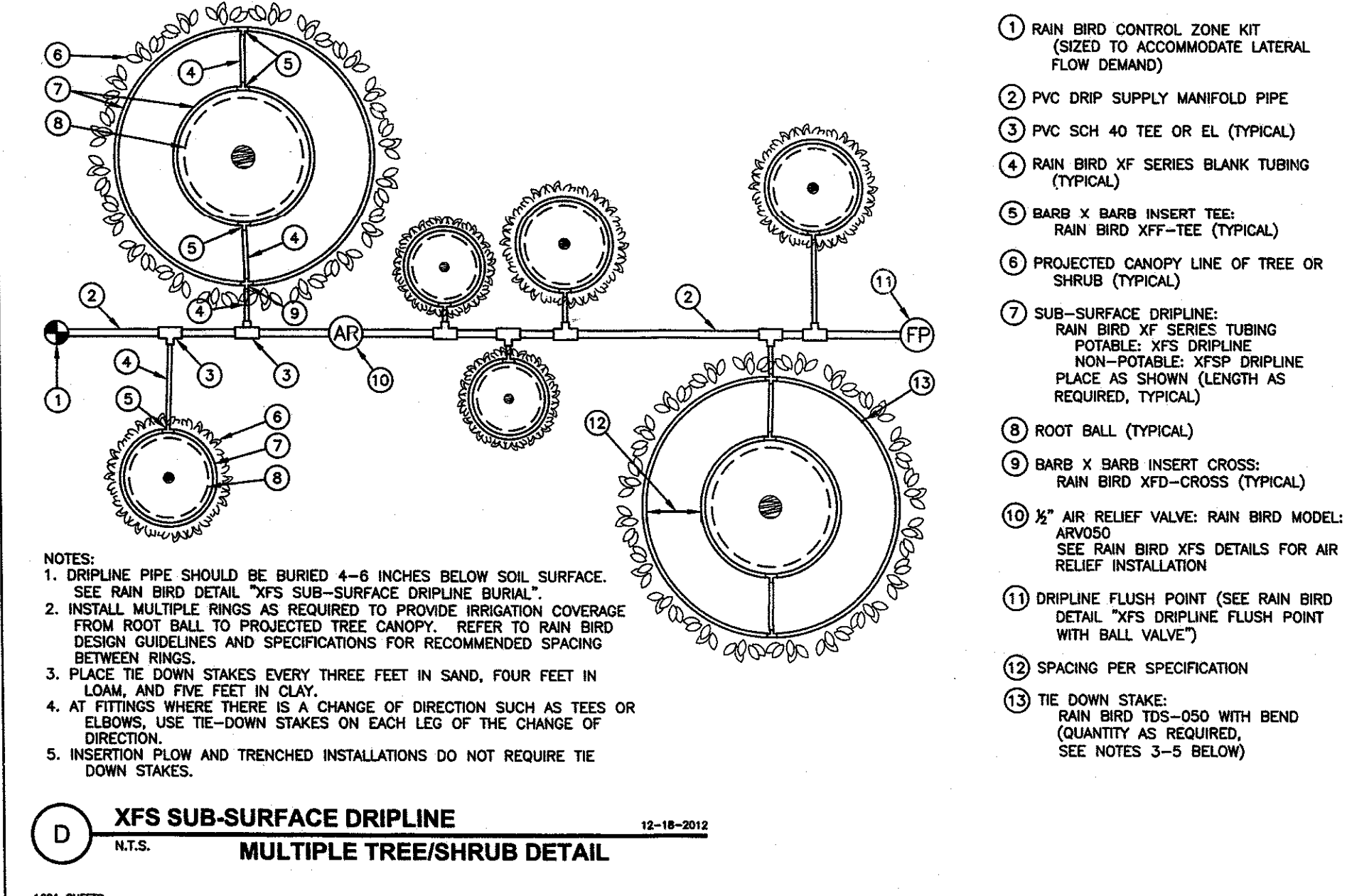
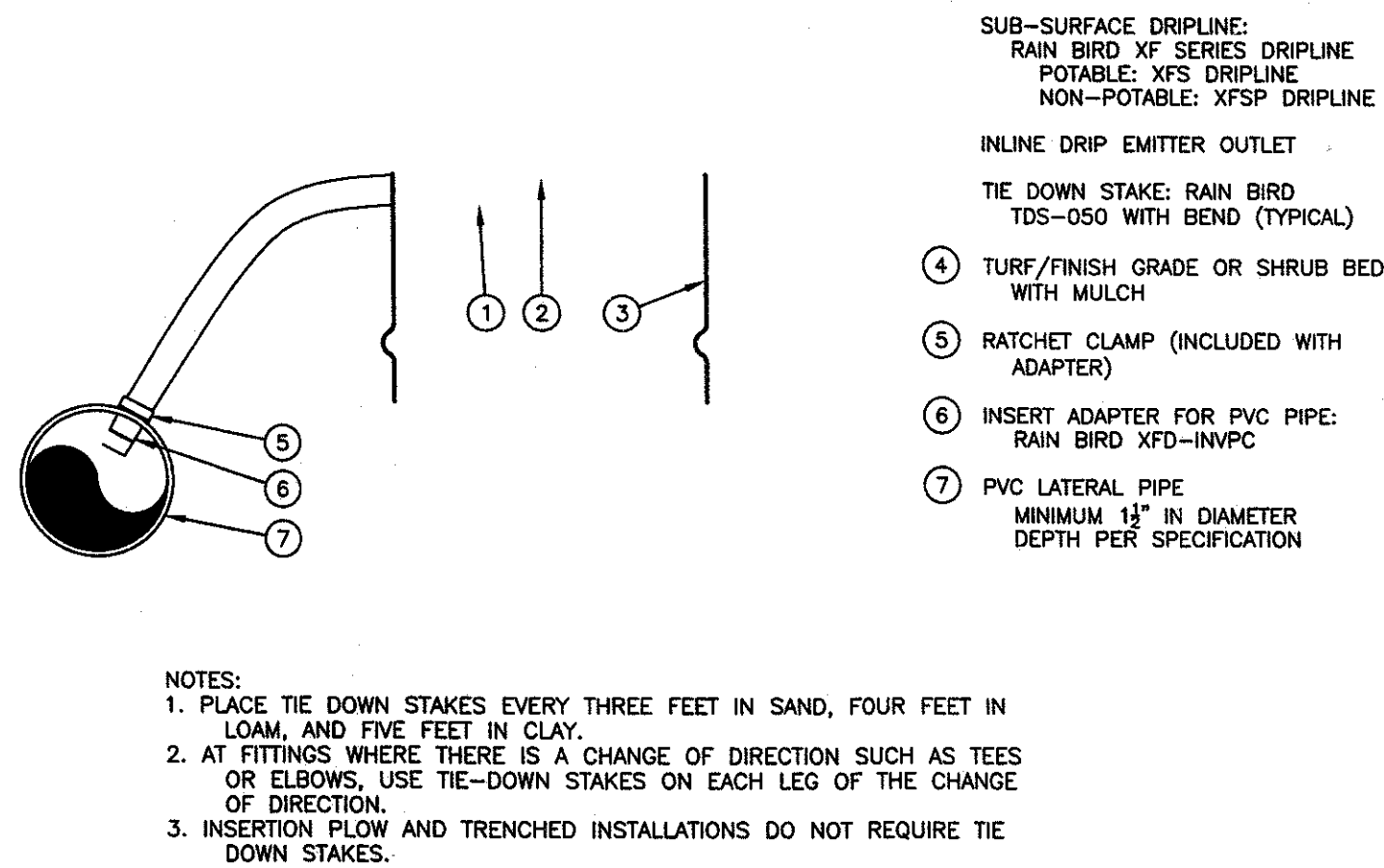
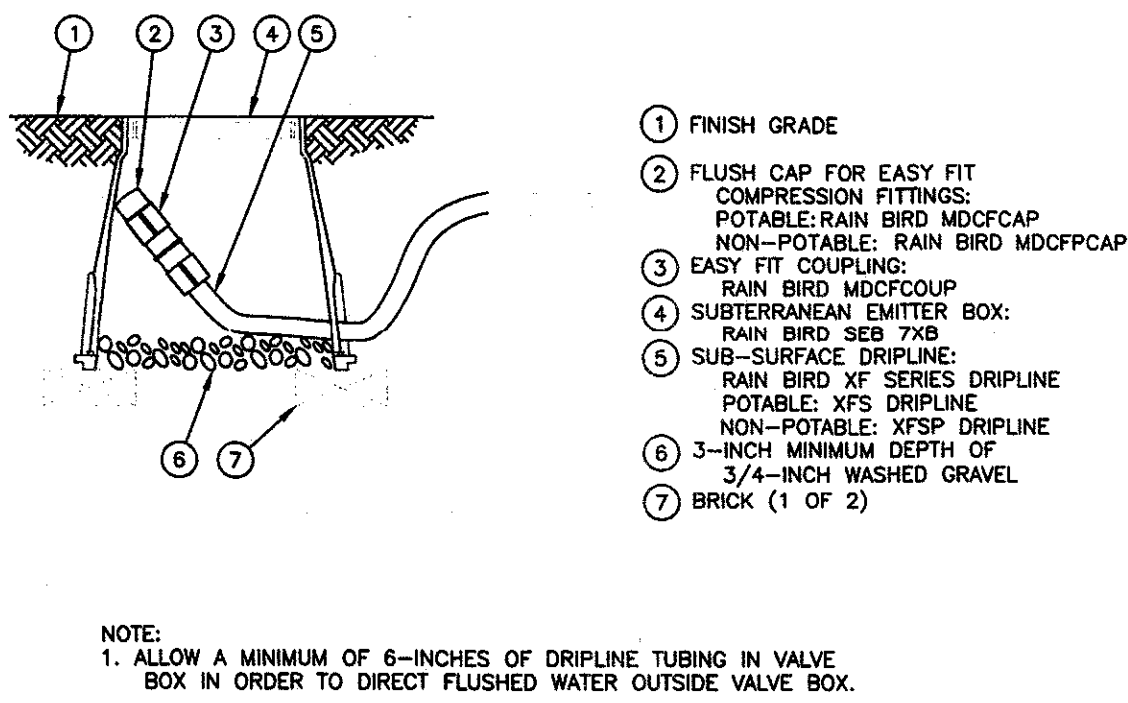
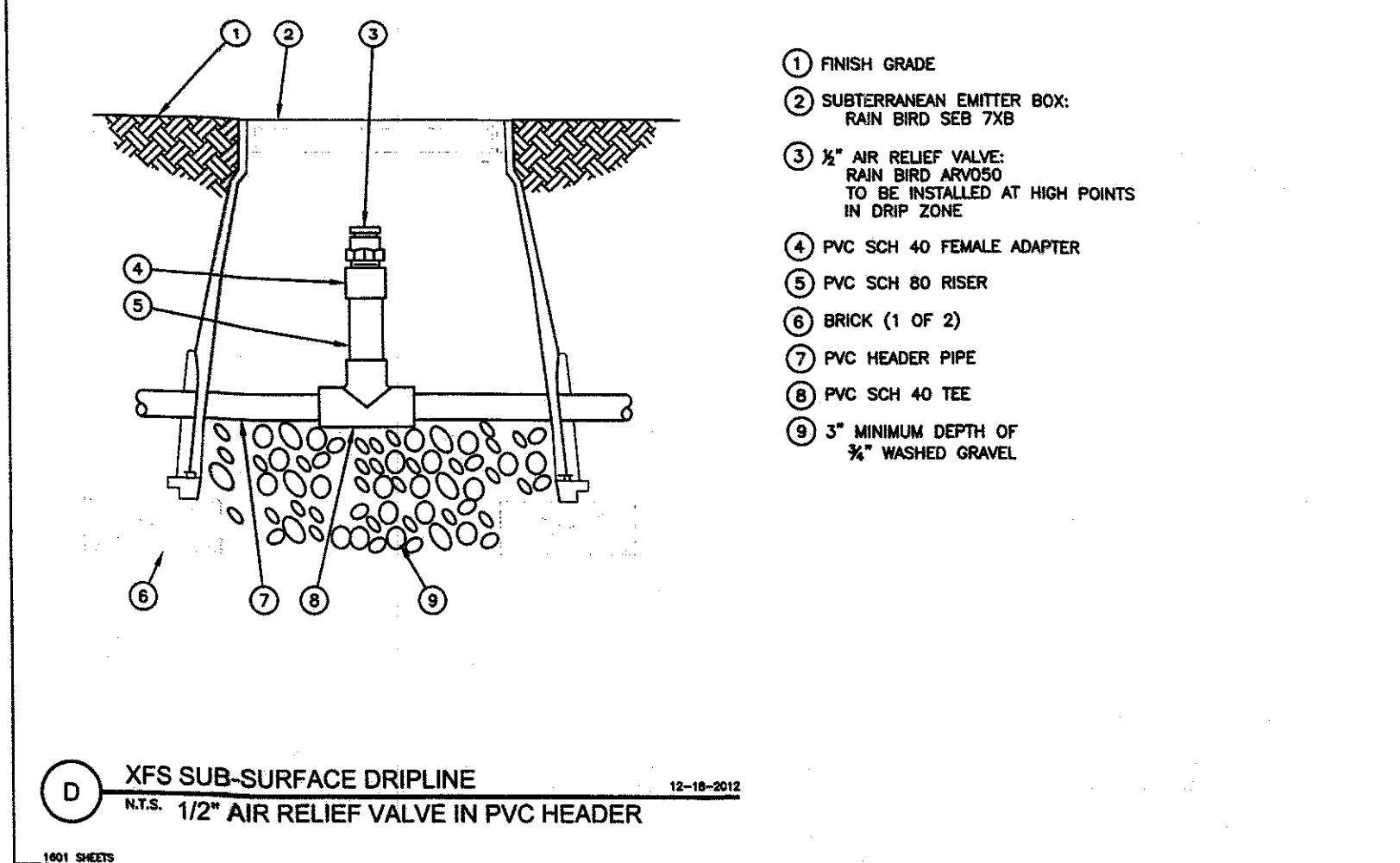
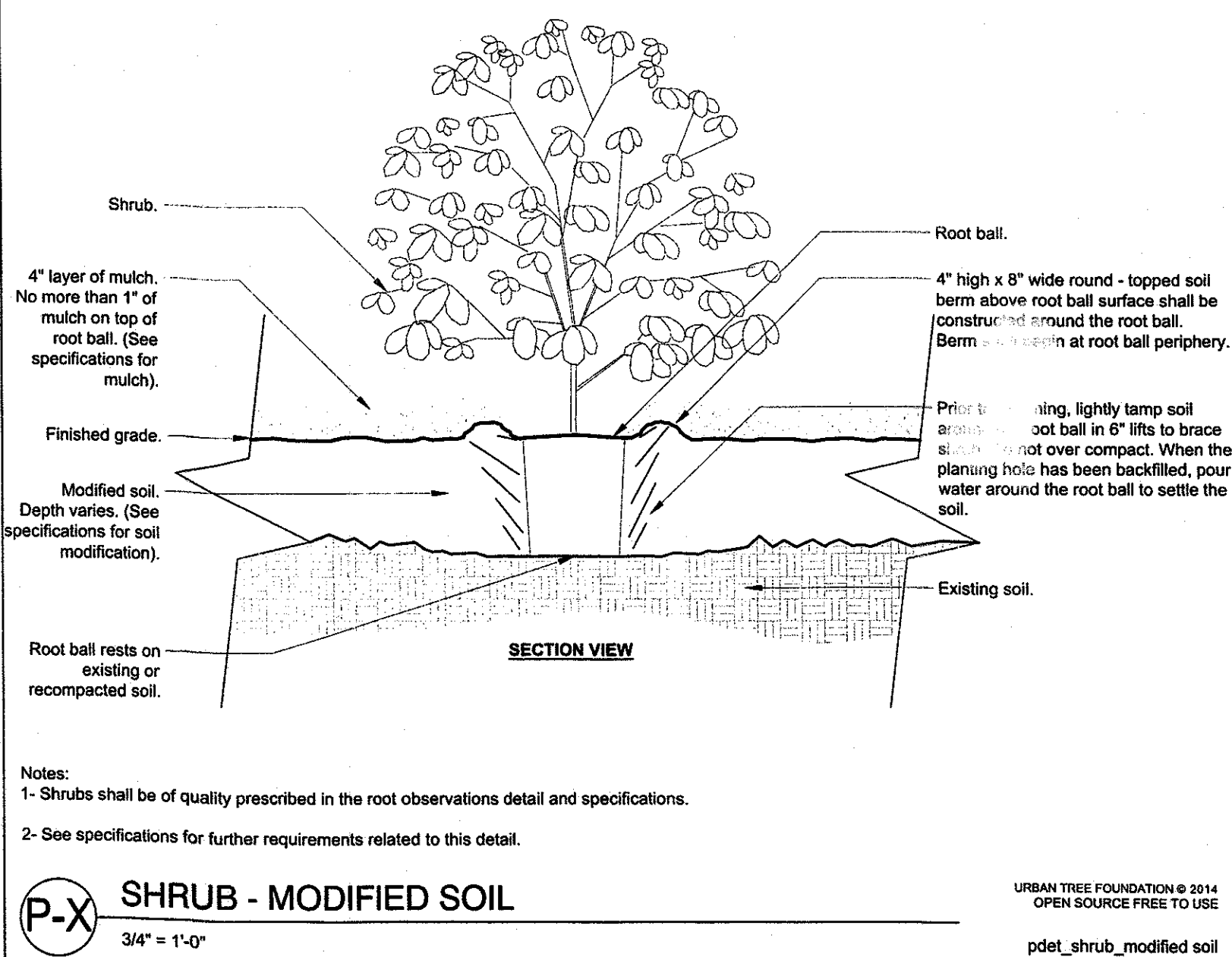
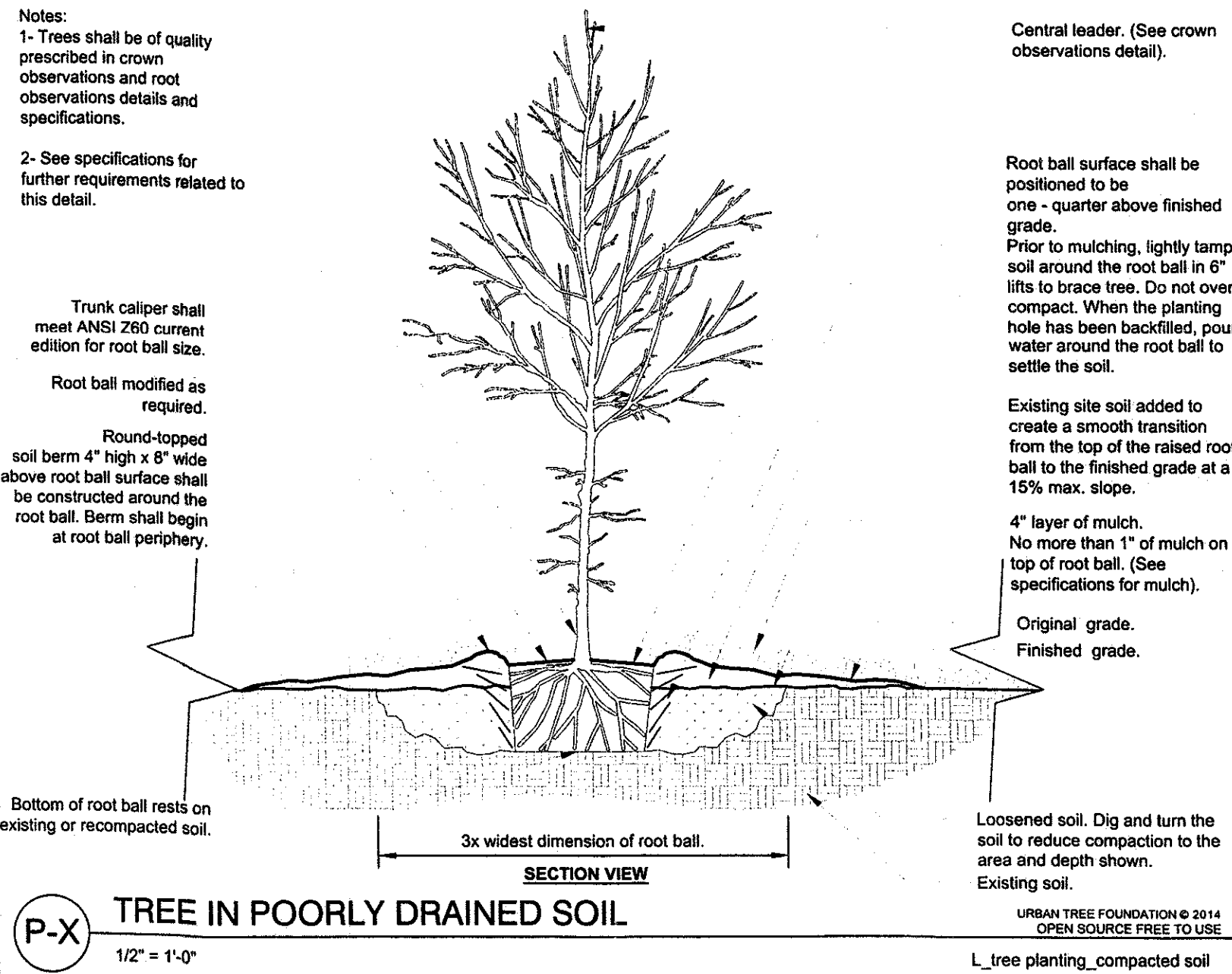
BME
BenchMark
ENGINEERS, PC

1920 THOMES AVENUE
SUITE 200
CHEYENNE, WY 82001
307.634.9084
www.BenchMarkEngineers.com

FIRESTONE INFORMATION BLOCK

LANDSCAPE PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	

FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
LANDSCAPE DETAILS
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 5 OF 15



BME

BenchMark
ENGINEERS, PC

1920 THOMES AVENUE
SUITE 200
CHEYENNE, WY 82001
307.634.9064
www.BenchMarkEngineers.com

FIRESTONE INFORMATION BLOCK	
LANDSCAPE DETAILS	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 5 OF 15	

4250691 Pages: 6 of 15
11/03/2016 11:13 AM R Fee:\$151.00
Carly Koppes, Clerk and Recorder, Weld County, CO

PROPOSED DRAINAGE ARROW

PROPOSED BLDG

ASPHALT PAVEMENT

LANDSCAPED AREAS (NEW AND EXISTING)

PEDESTRIAN-SCAPE - FRONTAGE
TRASH CONTAINMENT AREA
UTILITY COURTYARD
CURB AND GUTTER
ADA RAMP
CONCRETE PAVEMENT
CONCRETE CURB OPENING
USH WITH EXISTING DRIVE SURFACE
OR DRAINAGE PAN
NEW 6' SIDEWALK

NOTE: **ADA PARKING STRIPPING MINIMUMS AND DETAIL**

NTS

1. STRIPING FOR PAYER ACCESS AISLES SHOWN SCHEMATICALLY. ANGLE OF FINAL AISLE MARKINGS MAY BE 45-DEGREE OR PERPENDICULAR TO PRIMARY TRAVEL PATHS.

2. STRIPING ON ASPHALT SURFACING SHALL BE PAINTED ALKYD APPLIED TO 15MM THICK (TWO COATS) MEETING MUTCD COLOR SCHEME REQUIREMENTS. PAVEMENT MARKINGS SHALL BE TEMPLATE BASED, NO FREE HAND STRIPPING ALLOWED.

1'-0" x 1'-6" x .090" STANDARD ALUMINUM HANDICAP PARKING SIGN WITH IDENTIFICATION SYMBOL

RESERVED PARKING

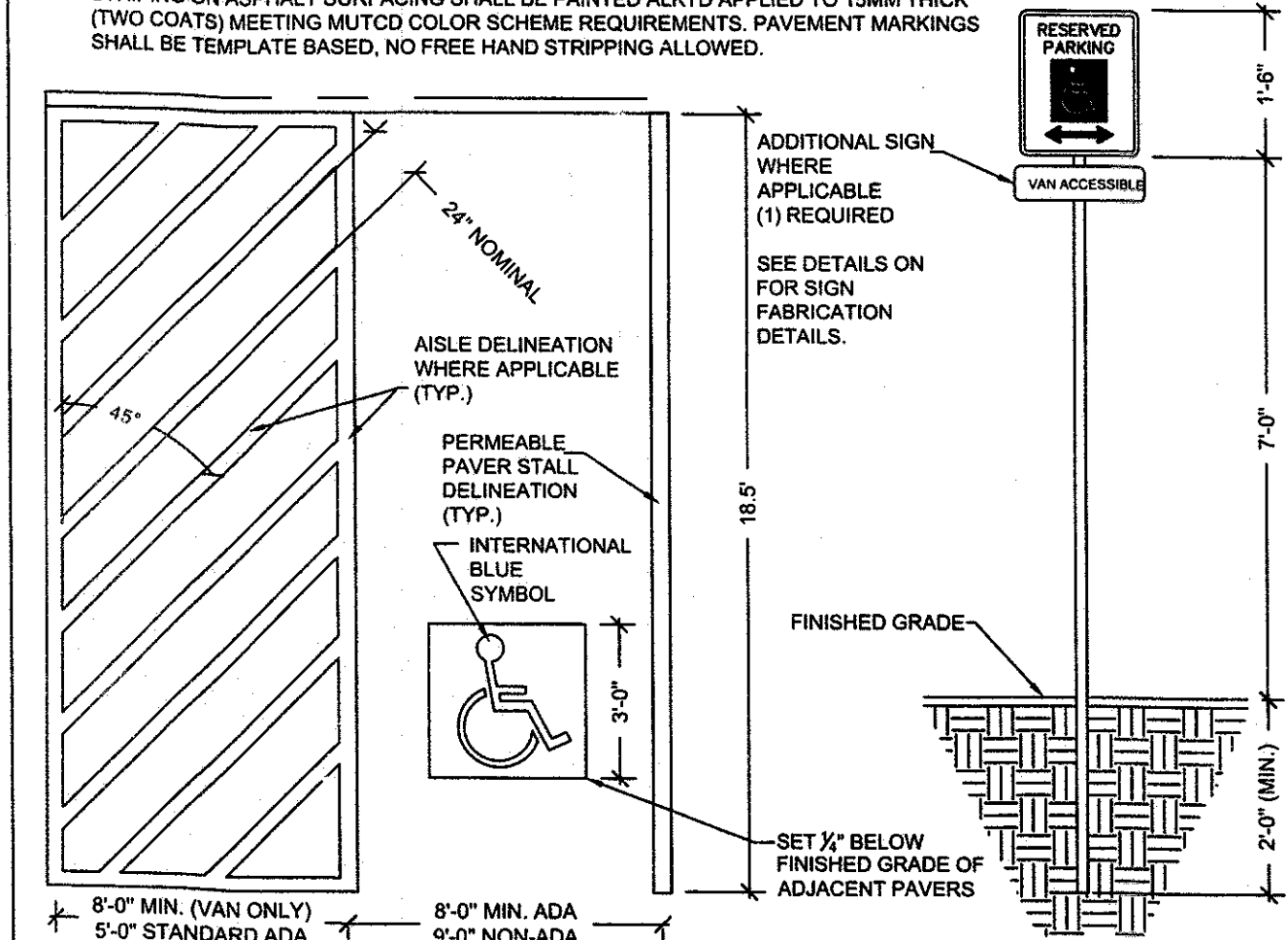
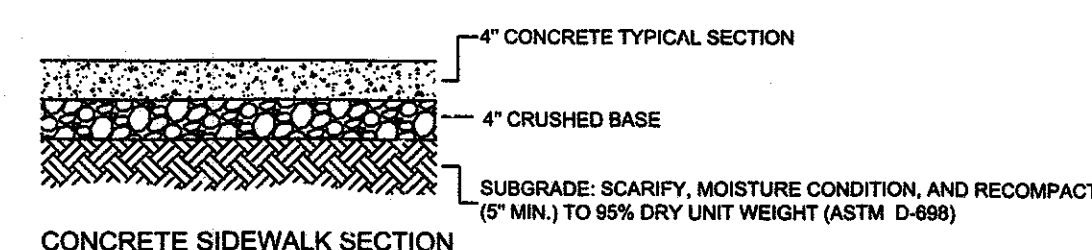
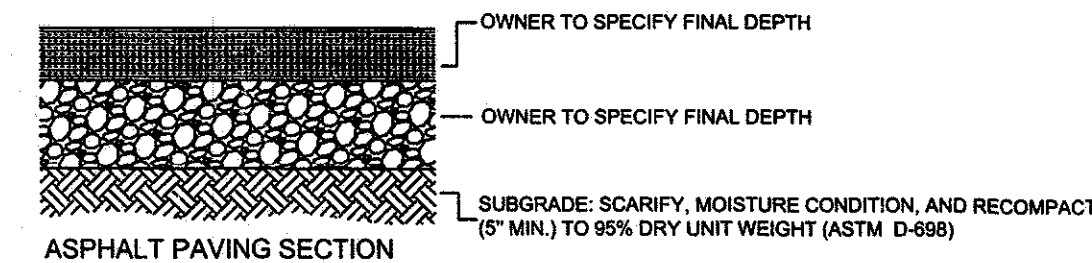


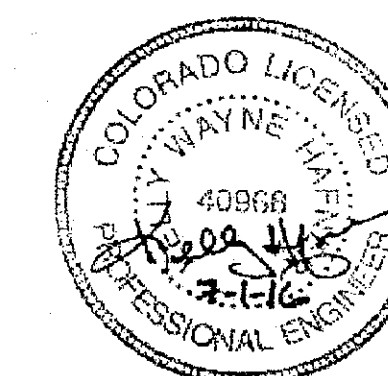
Diagram illustrating the layers of a concrete paving section:

- 6" CONCRETE PAVEMENT
- 4" CRUSHED BASE
- SUBGRADE: SCARIFY, MOISTURE CONDITION, AND RECOMPACT (8" MIN.) TO 95% DRY UNIT WEIGHT (ASTM D-698)

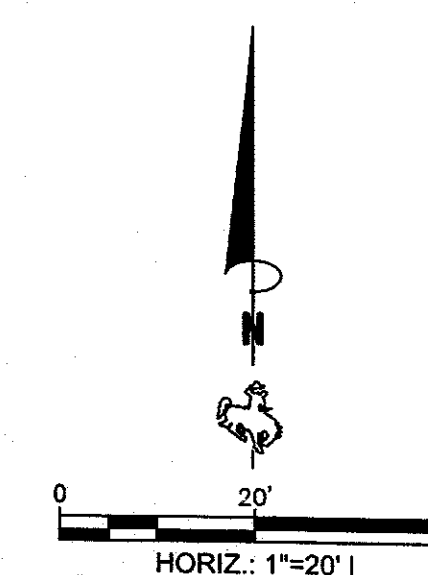
CONCRETE PAVING SECTION



TOWN OF FIRESTONE GENERAL SPECIFICATIONS AND STANDARD DETAILS
(CURRENT EDITION) OBTAINED AT WWW.FIRESTONE.GOV UNDER ENGINEERING,
CONSTRUCTION STANDARDS AND SPECIFICATIONS.



USE FOR CONSTRUCTION SUBJECT TO
TOWN OF FIRESTONE DEVELOPMENT
AND PERMIT APPROVALS



BenchMark
ENGINEERS, PC


1920 THOMES AVENUE
SUITE 200
CHEYENNE, WY 82001
307.634.9064
www.BenchMarkEngineers.co

PAVING PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	

SHEET 6 OF 15

LEGEND

PROPERTY LINE

SITE LIGHTPOLE 

PROPOSED DRAINAGE ARROW

PROPOSED BLDG

ASPHALT PAVEMENT

LANDSCAPED AREAS (NEW AND EXISTING)

PEDESTRIAN-SCAPE - FRONTAGE

TRASH CONTAINMENT AREA

UTILITY COURTYARD

EX. 8-INCH PVC WATER MAIN (TO REMAIN)

EX. 8-INCH PVC SANITARY SEWER MAIN (TO REMAIN)

EX. 6-INCH SANITARY SEWER STUBOUT


NEW SANITARY SEWER INSPECTION MANHOLE


NEW 1.5-INCH WATER SERVICE TAP AND METER PIT


NEW IRRIGATION MAIN


PROPOSED SERVICE UTILITY ROUTING (COORDINATE WITH SERVICE PROVIDER)

NEW 10" STM CONNECTION









P

T

U

W

S

SS

SMH

WS

IRR

U

Z

PROPERTY LINE

STORM SEWER EXISTING/PROPOSED

IRRIGATION WATER PROPOSED


POTABLE WATER EXISTING/PROPOSED

SANITARY SEWER EXISTING/PROPOSED

GAS SERVICE EXISTING/PROPOSED

ELECTRICAL SERVICE EXISTING/PROPOSED

TELECOM SERVICE EXISTING/PROPOSED



IRR W

WTR

SAN

G

E

T

/

IRR W

WTR

SAN

G

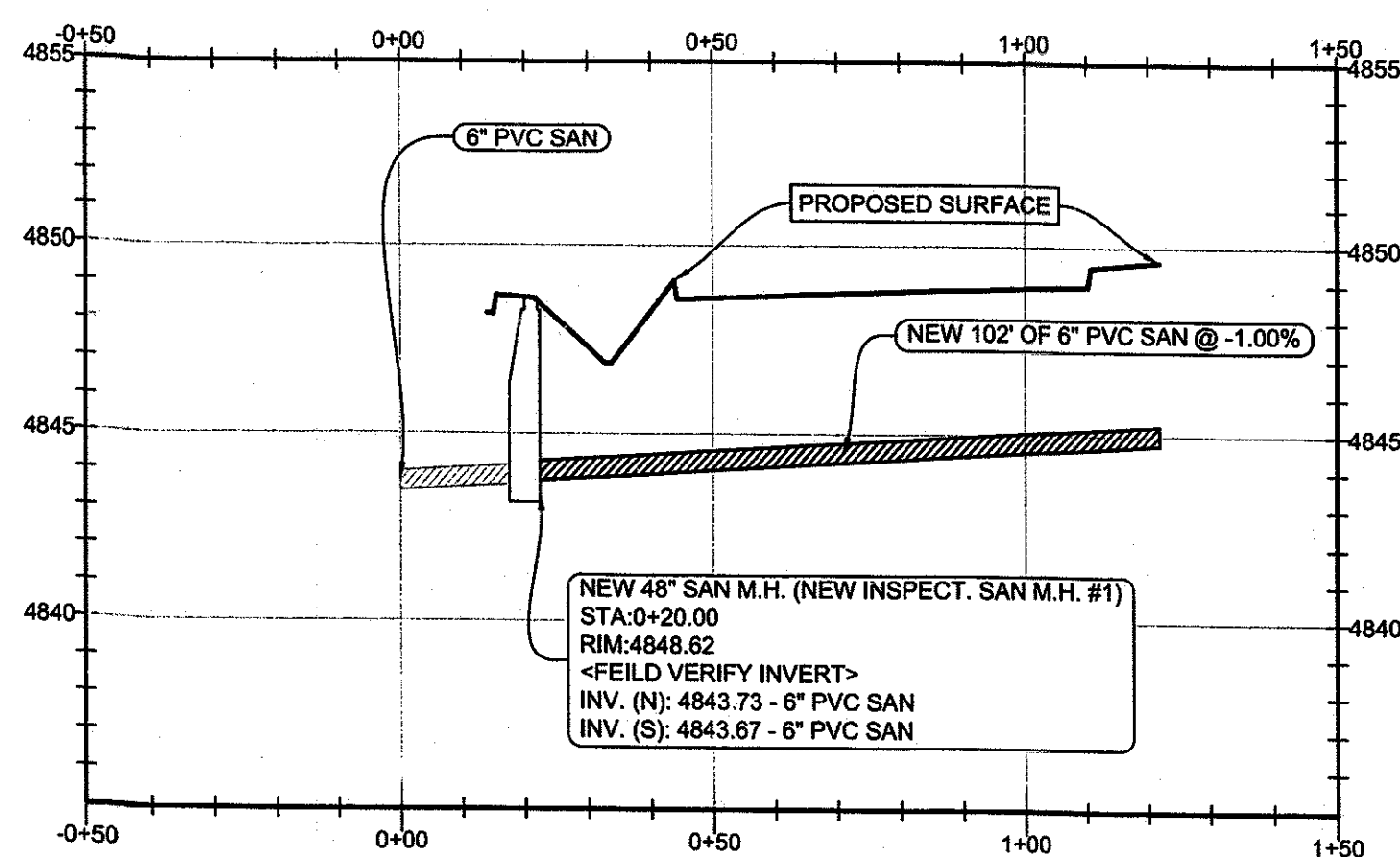
P

T

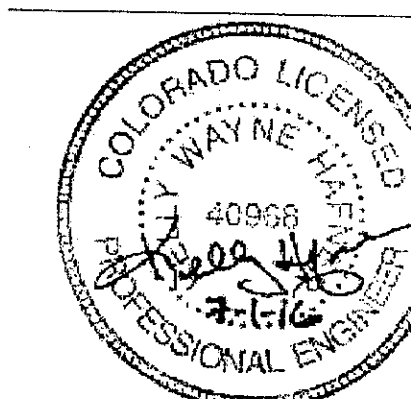
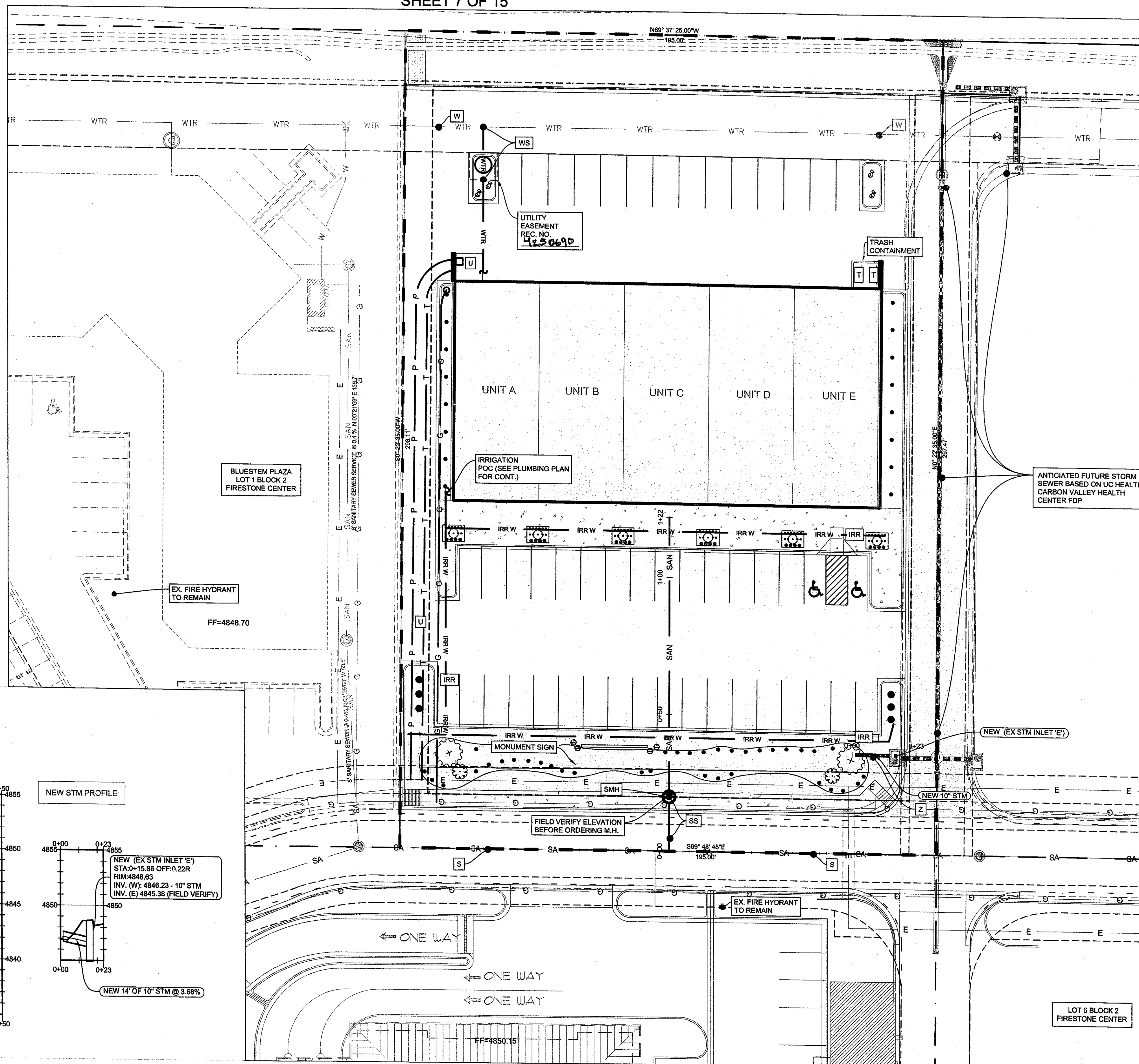
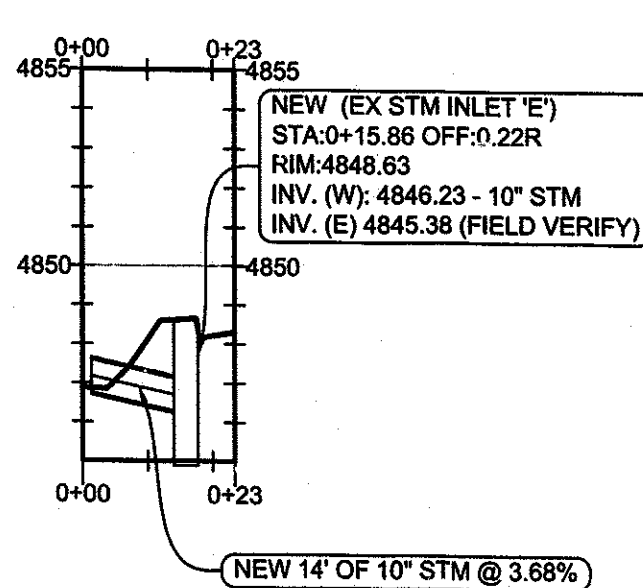
GENERAL SPECIFICATIONS

TOWN OF FIRESTONE GENERAL SPECIFICATIONS AND STANDARD DETAILS (CURRENT EDITION)
OBTAINED AT WWW.FIRESTONECO.GOV UNDER ENGINEERING, CONSTRUCTION STANDARDS AND
SPECIFICATIONS

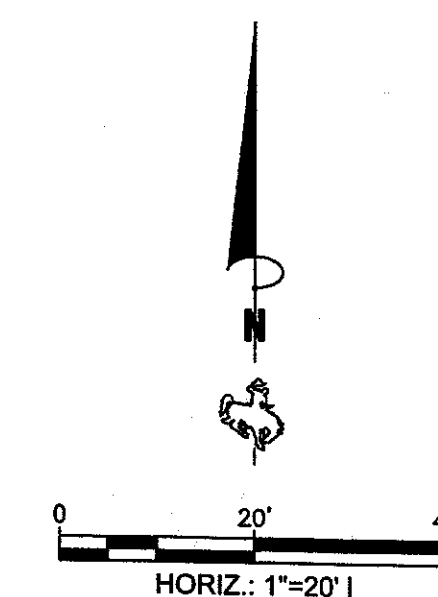
BLUESTEM TECH CENTER SANITARY SYSTEM PROFILE



NEW STM PROFILE



USE FOR CONSTRUCTION SUBJECT TO
TOWN OF FIRESTONE DEVELOPMENT
AND PERMIT APPROVALS



BenchMark
ENGINEERS, PC

1920 THOMES AVENUE
SUITE 200
CHEYENNE, WY 82001
307.634.9064
www.BenchMarkEngineers.com

FIRESTONE INFORMATION BLOCK

UTILITY PLAN

NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FLING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	08/29/2016
REVISION DATE:	

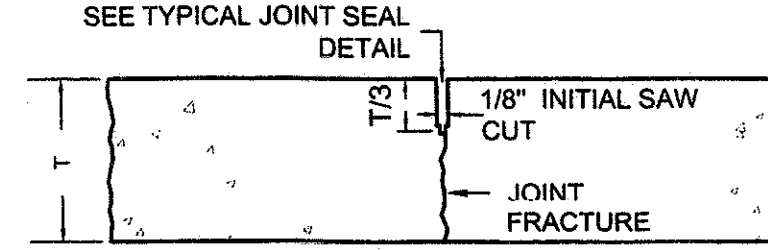
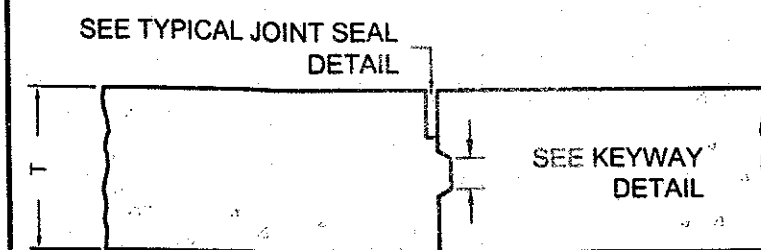
SHEET 7 OF 16

FINAL DEVELOPMENT PLAN

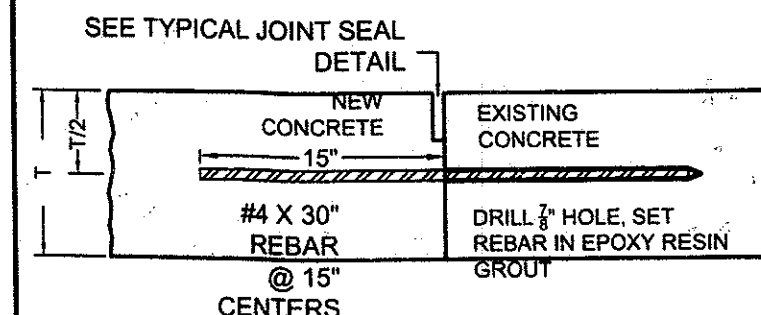
BLUESTEM TECH CENTER

SITE DETAIL
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 9 OF 15

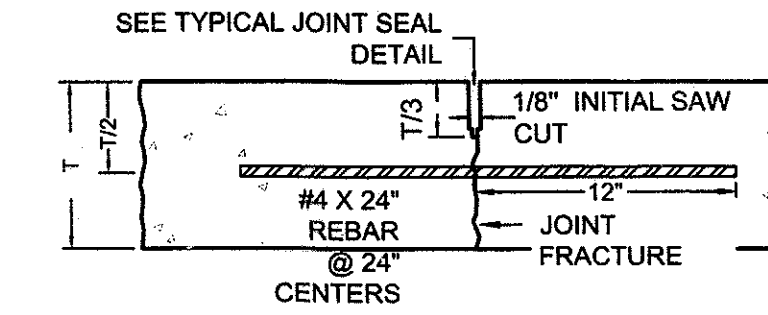
LONGITUDINAL JOINT DETAILS



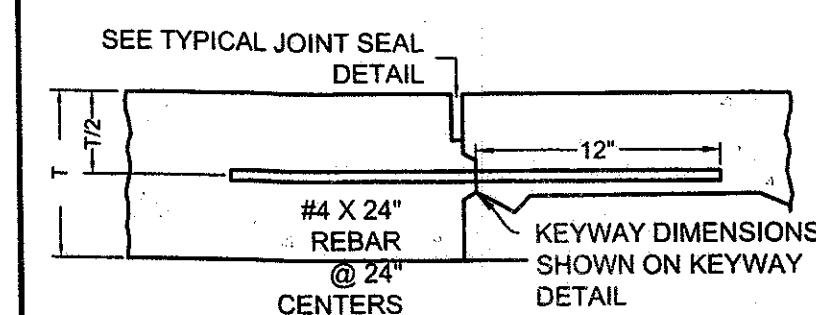
TYPE [B] KEYED CONSTRUCTION JOINT



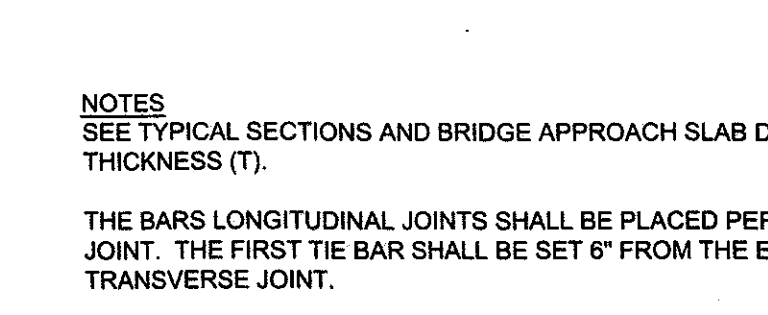
TYPE [Z] WEAKENED PLANE JOINT



TYPE [B] KEYED CONSTRUCTION JOINT



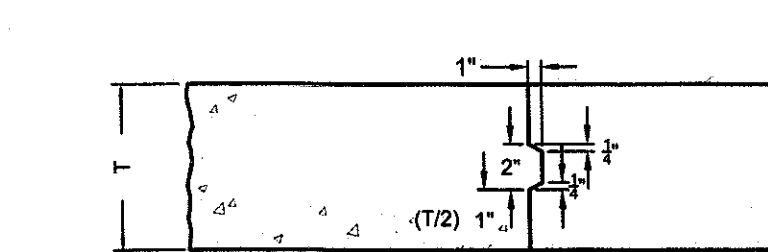
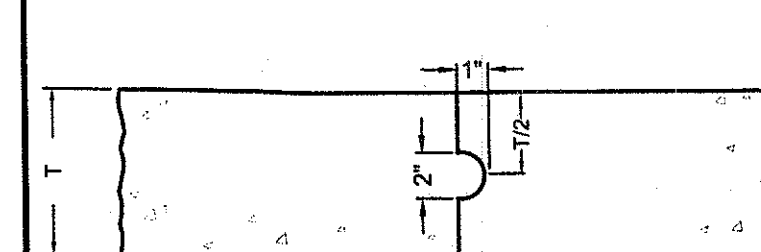
TYPE [X] TIED WEAKENED PLANE JOINT



NOTES

SEE TYPICAL SECTIONS AND BRIDGE APPROACH SLAB DETAILS FOR SLAB THICKNESS (T).
THE BARS LONGITUDINAL JOINTS SHALL BE PLACED PERPENDICULAR TO THE JOINT. THE FIRST TIE BAR SHALL BE SET 6" FROM THE END OF THE TRANSVERSE JOINT.

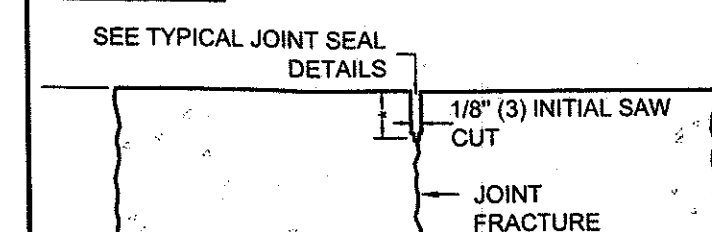
TYPE [Y] CONSTRUCTION JOINT



ALTERNATE KEYWAY DETAIL

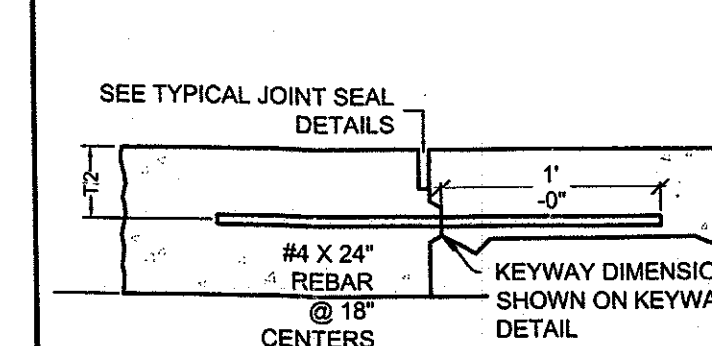
TYPICAL KEYWAY DETAIL

TRANSVERSE JOINT DETAILS

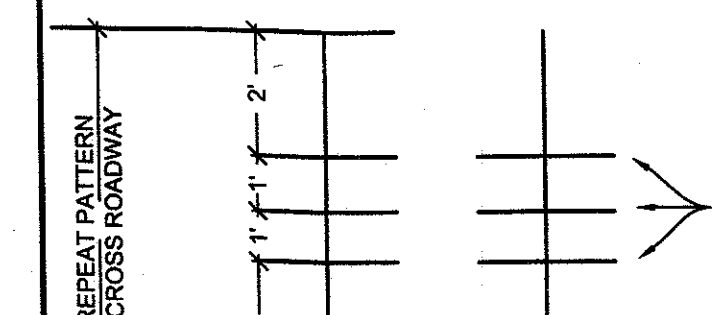


* SLAB THICKNESS 10" OR LESS:
T/4
SLAB THICKNESS MORE THAN 10": T/3

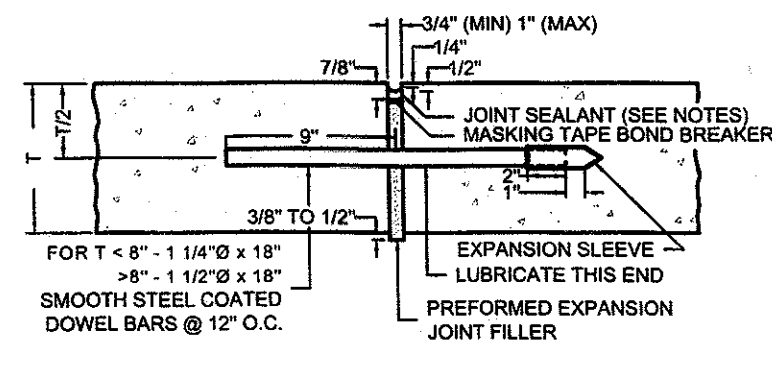
TYPE [A] WEAKENED PLANE JOINT



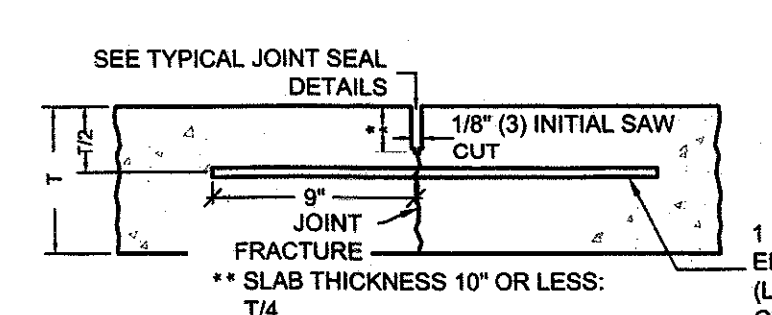
TYPE [C] CONSTRUCTION JOINT



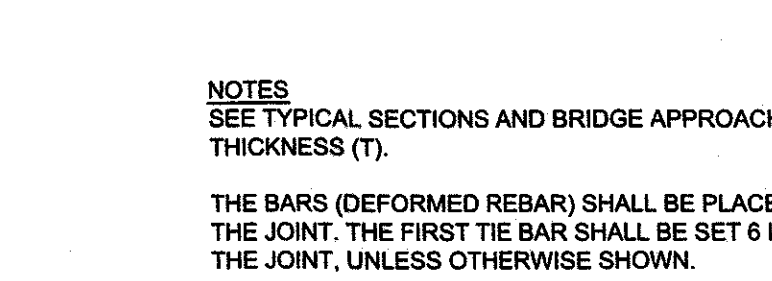
DOWEL SPACING FOR TYPE [E] TRANSVERSE JOINT



TYPE [E] EXPANSION JOINT



TYPE [D] TRANSVERSE DOWELED WEAKENED PLANE JOINT



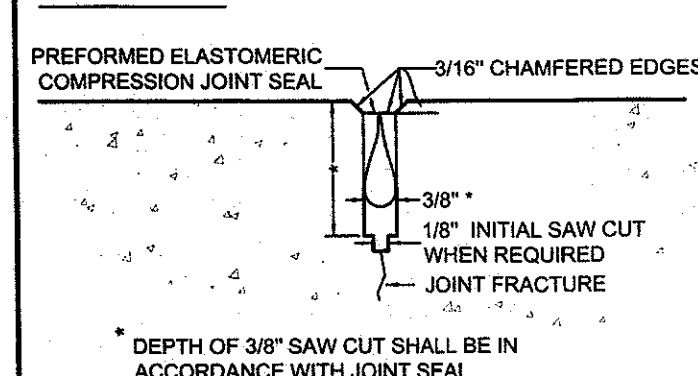
NOTES

SEE TYPICAL SECTIONS AND BRIDGE APPROACH SLAB DETAILS FOR SLAB THICKNESS (T).
THE BARS (DEFORMED REBAR) SHALL BE PLACED PERPENDICULAR TO THE JOINT. THE FIRST TIE BAR SHALL BE SET 6 INCHES FROM THE END OF THE JOINT, UNLESS OTHERWISE SHOWN.

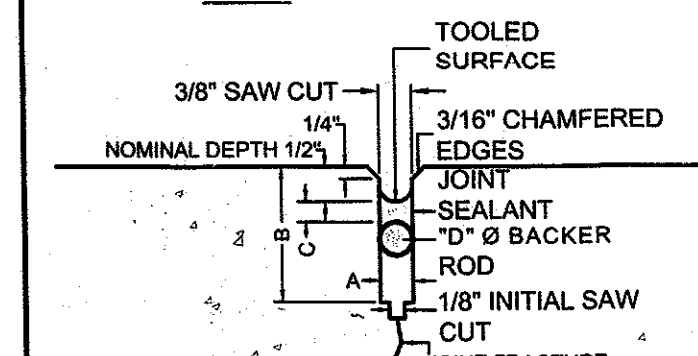
SMOOTH DOWEL BARS SHALL BE PLACED PARALLEL TO THE DIRECTION OF MOVEMENT.
THE FIRST DOWEL SHALL BE PLACED 6 INCHES FROM THE END OF THE JOINT, UNLESS OTHERWISE SHOWN.

IF TRANSVERSE JOINTS DO NOT FRACTURE AT THE JOINT ON THE OUTER EDGES OF THE SLAB, THE ENGINEER MAY DIRECT THAT THE SAW CUT DEPTH BE INCREASED FOR NO ADDITIONAL PAYMENT.

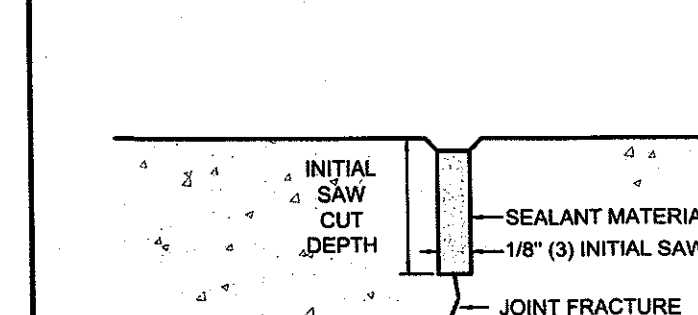
TYPICAL JOINT SEAL DETAILS



PREFORMED ELASTOMERIC COMPRESSION JOINT SEAL



SILICONE SEALANT JOINT



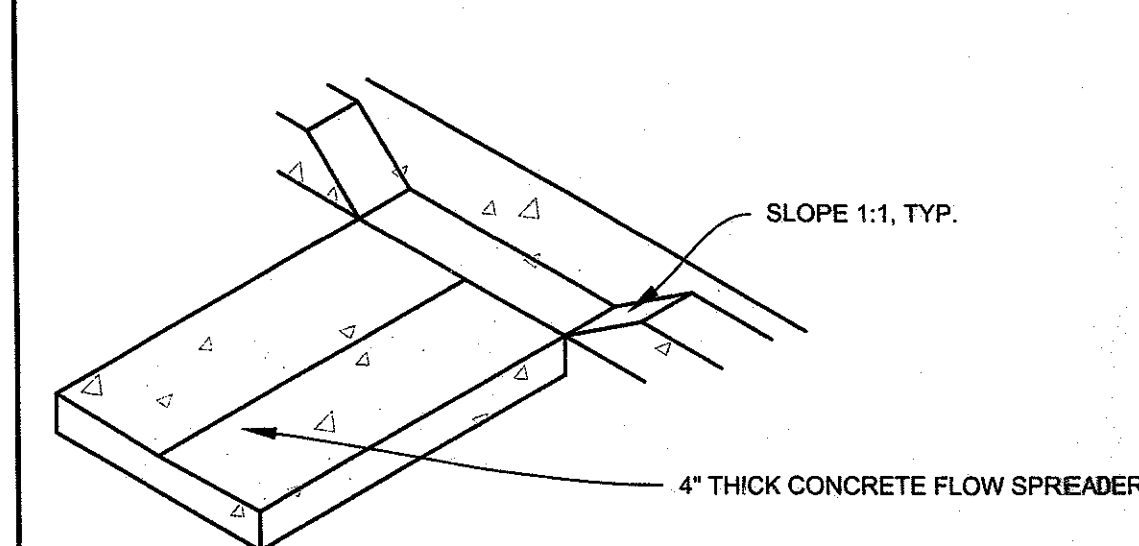
HOT POURED ELASTIC JOINT SEAL

NOTES

1. T = SLAB THICKNESS
2. BEGIN PLACING REBAR (DEFORMED REBAR) AND SMOOTH STEEL DOWEL BARS 6" (IN) FROM EDGE OF PAVEMENT AND PERPENDICULAR TO THE JOINT OR AS SPECIFIED.
3. WHEN TRANSVERSE JOINTS DO NOT FRACTURE IN THE JOINT AT THE EDGE OF THE SLAB, SAW DEPTH MAY BE INCREASED AS APPROVED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
4. SEAL TYPE "E" JOINT WITH SILICONE SEAL.
5. SEAL REMAINING TYPES OF TRANSVERSE JOINTS WITH PREFORMED ELASTOMERIC COMPRESSION JOINT SEALS.
6. SEAL LONGITUDINAL JOINTS WITH HOT POURED ELASTIC JOINT SEAL.
7. SEAL JOINTS WITH SILICONE SEALANT ONLY WHEN SPECIFIED IN THE CONTRACT.
8. TAPE OR CLOSE JOINT ENDS AS APPROVED BY THE ENGINEER TO PREVENT LOSS OF JOINT SEALANT.

JOINT DIMENSIONS (SILICONE SEALANT)				
ORIGINAL SAW CUT	"A" WIDTH OF SAW CUT	"B" DEPTH OF SAW CUT	"C" SEALANT THICKNESS	"D" BACKER ROD DIAMETER
INCHES	INCHES	INCHES	INCHES	INCHES
LESS THAN 3/8	3/8	1 1/2	1/4	1/2
3/8	1/2	1 1/2	1/4	5/8
1/2	5/8	1 3/4	5/16	3/4
5/8	3/4	2	3/8	1
3/4	7/8	2	7/16	1
7/8	1	2 1/4	1/2	1 1/4
FROM 1 TO 2	ORIGINAL WIDTH PLUS 1/8	1 1/2	1/2	DIM. "A" PLUS 1/8

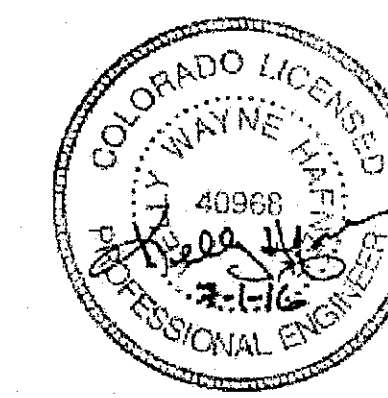
CONCRETE OPENING DETAIL



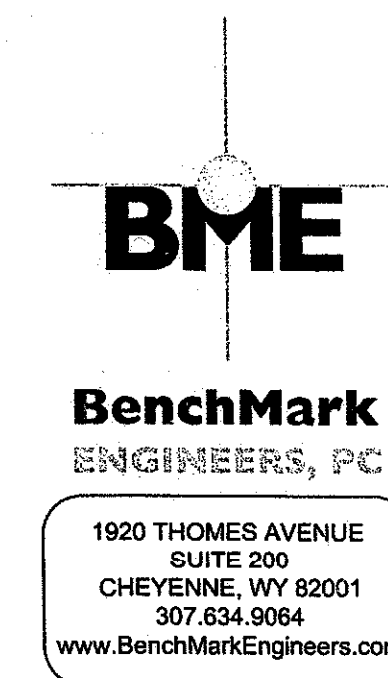
NOTES:
INCLUDE 4" CRUSHED BASE GRADING "W"

GENERAL SPECIFICATIONS

TOWN OF FIRESTONE GENERAL SPECIFICATIONS AND STANDARD DETAILS (CURRENT EDITION) OBTAINED AT WWW.FIRESTONECO.GOV UNDER ENGINEERING, CONSTRUCTION STANDARDS AND SPECIFICATIONS.



USE FOR CONSTRUCTION SUBJECT TO TOWN OF FIRESTONE DEVELOPMENT AND PERMIT APPROVALS

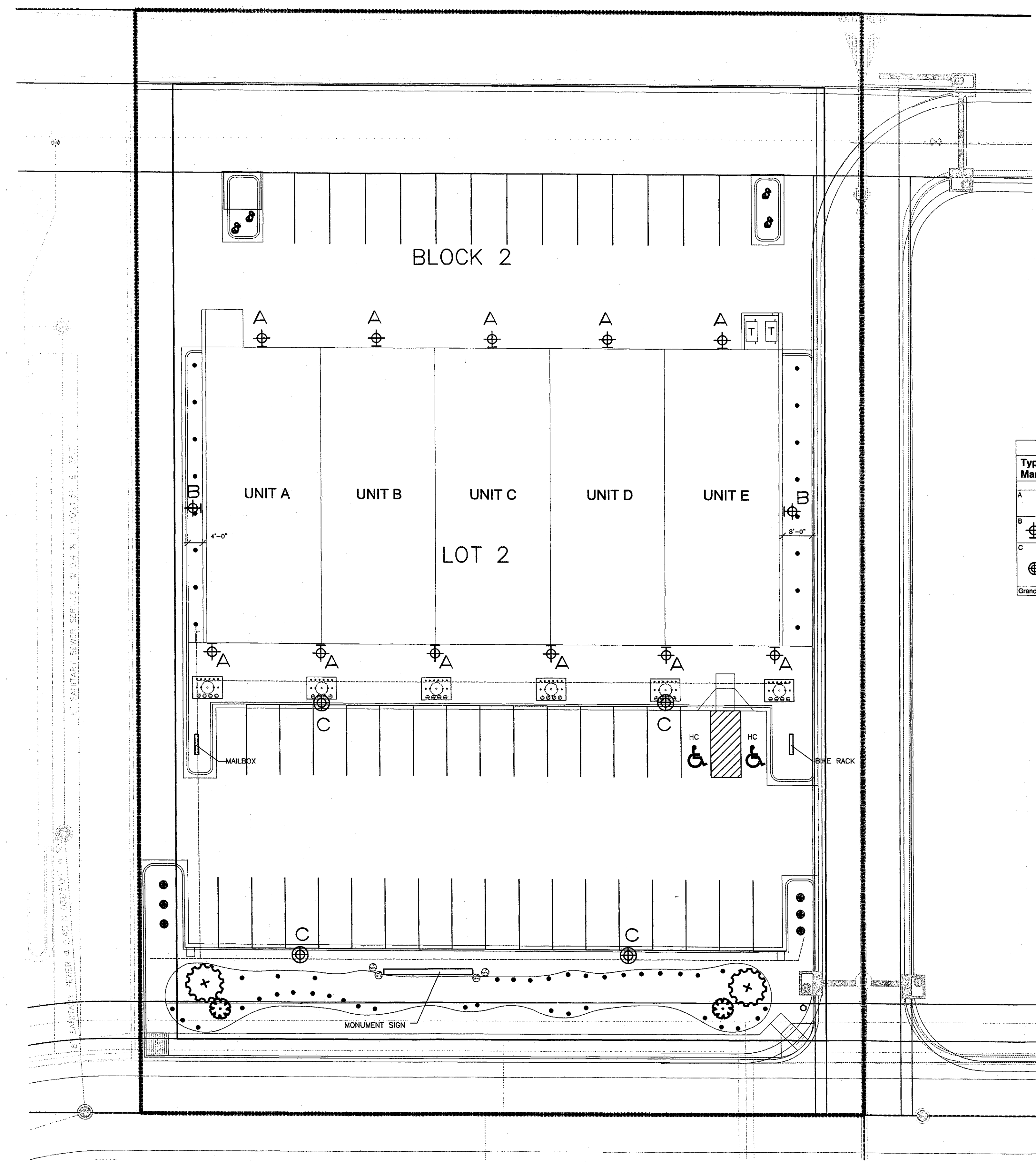


FIRESTONE INFORMATION BLOCK	
SITE DETAIL	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 9 OF 15	

ADDRESS AND TRAFFIC CONTROL PLAN

4250691 Pages: 11 of 15
11/03/2016 11:55 AM R Fee: \$151.00
Cathy Koppes, Clerk and Recorder, Weld County, CO

FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
LIGHTING SITE PLAN
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 11 OF 15



LIGHTING FIXTURE SCHEDULE					
Type Mark	Count	Manufacturer	Model	Description	Image
A	11	KIM LIGHTING	WD1404E35-60L3K120-BL	WALL PACK LED, 60 WATT, 3823 LUMENS, 3000K, PHOTO CELL MOUNT AT 20°	
B	2	KIM LIGHTING	WD1402E35-60L3K120-BL	WALL PACK LED, 60 WATT, 3837 LUMENS, 3000K, TYPE 2, PHOTO CELL, MOUNT AT 20°	
C	4	KIM LIGHTING	1SA-WP9L4P70120L3K120BL	POLE MOUNTED LED FIXTURE, SIDE ARM MOUNT, 10917 LUMENS, 3000K, PHOTOCELL, PAINTED ROUND TAPERED STEEL POLE, 25', BLACK FINISH, TYPE 4 DISTRIBUTION	
Grand total: 17					

LIGHTING SITE PLAN
SCALE: 1"=20'

FIRESTONE INFORMATION BLOCK	
LIGHTING SITE PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILE NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 11 OF 15	

REVISIONS:

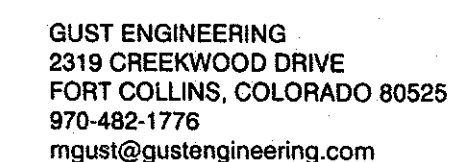
DRAWN BY: T. WAUGH

BLUESTEM TECH CENTER
TOWN OF FIRESTONE, COLORADO
waugh & associates
architecture • planning • solar design

DATE:
15 APRIL 2016

LIGHTING
SITE PLAN

po box 489 • littleton, colorado • 80144 • 720-494-7602
www.waughandassociates.net
e-mail info@waughworld.com



GUST ENGINEERING
3612 PIONEER AVENUE
CHEYENNE, WYOMING 82001
307-638-2511
mgust@gustengineering.com

REVISIONS:

DRAWN BY: T. WAUGH

BLUESTEM TECH CENTER
TOWN OF FIRESTONE, COLORADO
waugh & associates
architecture • planning • solar design

waugh & associates

[illegible]

DATE:
15 APRIL 2016

PHOTOMETRIC
PLAN

Type:
Job:
Catalog number:

WARP® Large, Picofirm™ LED
revision 7/27/94 to 4 kin_wapledp, spec

Approvals:

Size: Finish: Dimensions: Weight: Colors:

Notes: See page 2.
Select panel from 400, 500mm and Panel Selection Guide to make as provided by others indicate D.O. for mounting.

Date:
Page: 1 of 6

Specifications

WAPLED-LED

Large Picofirm™
LED Light Emitting Diodes 120° System Watts for 2500mA
275 System Watts for 3500mA
Maximum weight 30 lbs.

Technical drawings of the WAPLED-LED fixture showing front, side, and bottom views with dimensions:

- FRONT:** Shows a circular face with a diameter of 15 1/2" (393mm). The mounting flange has a diameter of 10 1/2" (267mm).
- SIDE:** Shows the side profile with a top diameter of 35 1/2" (899mm), a bottom diameter of 10 1/2" (267mm), and a height of 5 1/2" (139mm). The mounting flange has a diameter of 1 1/2" (38mm).
- BOTTOM:** Shows the bottom view with a diameter of 20" (508mm) and a mounting flange diameter of 5 1/2" (139mm).

Housing: One-piece die cast, low copper (4.0% Cu) aluminum alloy with integral cooling ribs over the electrical components. Solid barrier wall separates optical and electrical compartments.

Electronic Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory prewired with quick-disconnect plugs. Module includes a driver, thermal cut-off device and surge protector. Module encloses a driver, attached to housing with metal hinges and latches. Driver is rated for <40°F starting and has a 0.10V dimming derivation for multi-level illumination options.

Optical Module: Precision, IP66 replaceable Picofirm™ lenses are positioned to achieve directional control toward desired task. The entire light engine fastens to the housing as a one-piece module.

Dimming: Driver has a 0-10V dimming interface with a dimming range of 12-100%. Approved dimmers include Lutron DYA Aviva, Lutron Nova NUTV and NUTTV. Note: Not compatible with certain sourcing dimmers.

Support Arm: Heavy cast, low copper aluminum alloy with stainless steel mounting bolts. A pole interrupter plate is provided with wire strain relief. Arm is a circular cut out for specified round pole.

Finish: Textured laminate receives a fade and abrasion resistant electrostatically applied, thermally cured, triglycidyl isocyanate (TGIC) polyester powdercoat finish. Standard colors include Black (BK), Dark Bronze (WB), White (PW), Platinum Silver (SC), Stealth Gray (CG), Light Gray, and (CC) Custom Color (includesRAL®).

Listed for UL 1599 Standard for Luminaires - UL 8750 Standard for Safety for Light Emitting Diode (LED) Equipment for use in Lighted Products and CSA C22.2/250.0 Luminaires - RoHS compliant
Meets Bay Area's provisions within AB6A.



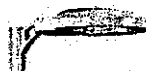
Warranty: Kim Lighting warrants Wap® LED products ("Products") sold by Kim Lighting to be free from defects in material and workmanship for (a) a period of five (5) years for metal parts, for a period of one (1) year for exterior mounting plate materials, (b) a period of six (6) years for LED Light Engines ("Picofirms"), and (c) a period of five (5) years for LED components ("LEDs"). Drive ("LEDs") covered from the date of sale of each goods to the buyer as specified in Kim Lighting shipment documents for each product. Occupancy sensors, Surge Protector, dimmers and relay wiring components are covered by the manufacturer's warranty.

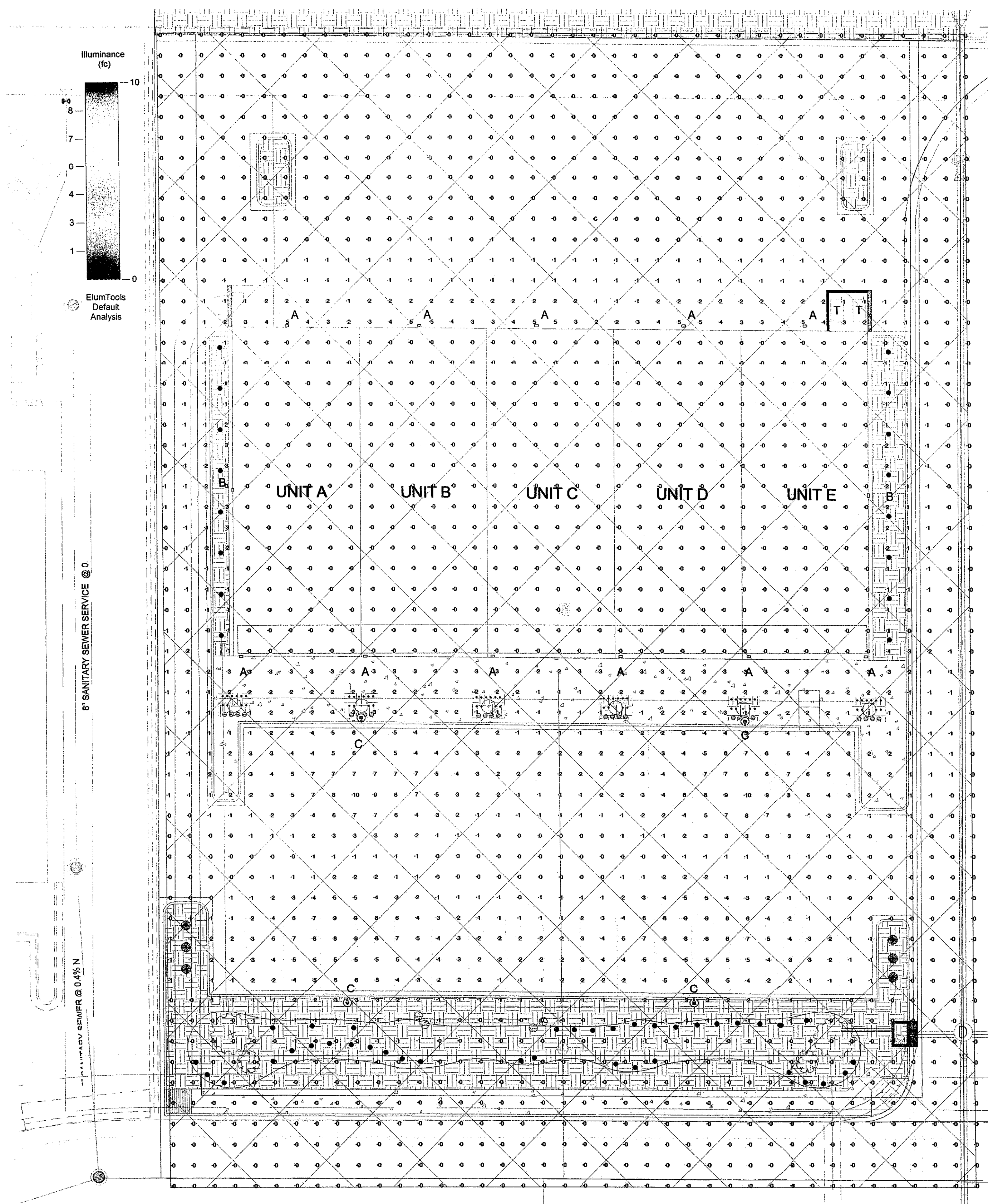
CAUTION: Fixtures must be grounded in accordance with national and/or local electrical codes. Failure to do so may result serious personal injury.

U.S. Patent Pending Options

©2014 KIM LIGHTING, 17995 16TH AVE. #100, CITY OF DENVER, CO 80242-1798-111 675-955-5660 1-877-626-9567 1-877-626-9567-9718

[illegible]

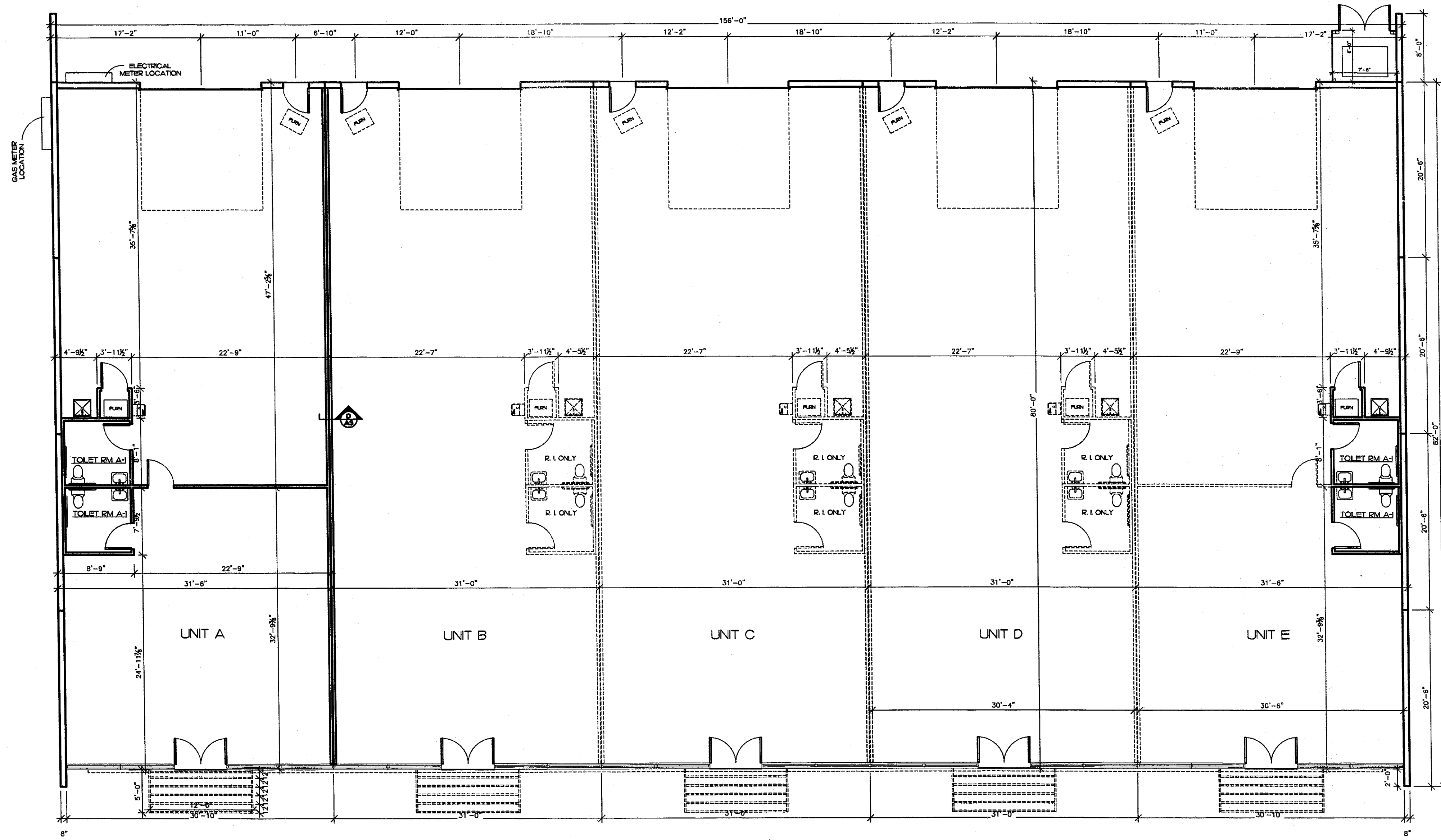
LIGHTING FIXTURE SCHEDULE					
Type Mark	Count	Manufacturer	Model	Description	Image
A	11	KIM LIGHTING	WD14D4E35-60L3K120-BL	WALL PACK, LED, 60 WATT., 3823 LUMENS, 3000K, PHOTO CELL MOUNT AT 20"0"	
B	2	KIM LIGHTING	WD14D2E35-60L3K120-BL	WALL PACK, LED, 60 WATT, 3937 LUMENS, 3000K, TYPE 2, PHOTO CELL, MOUNT AT 20"0"	
C	4	KIM LIGHTING	1SA-WP9L4P70120L3K120BL	POLE MOUNTED LED FIXTURE, SIDE ARM MOUNT, 10917 LUMENS, 3000K, PHOTOCCELL, PAINTED ROUND TAPERED STEEL POLE, 25", BLACK FINISH., TYPE 4 DISTRIBUTION	
Grand total: 17					



1 SITE LIGHTING INFORMATION
1/16" = 1'-0"

FIRESTONE INFORMATION BLOCK	
PHOTOMETRIC PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/23/2016
REVISION DATE:	
SHEET 12 OF 15	

FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
OVERALL MAIN LEVEL PLAN
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 13 OF 15



 **FLOOR PLAN**
SCALE : 1/8"=1'-0"

FIRESTONE INFORMATION BLOCK	
FLOOR PLAN	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 13 OF 15	

BLUESTEM TECH CENTER
TOWN OF FIRESTONE, COLORADO
waugh & associates
architecture • planning • solar design
www.waughandassociates.net
po box 498 • firestone, colorado • 80544 • 720-494-7602
e-mail info@waughworld.com

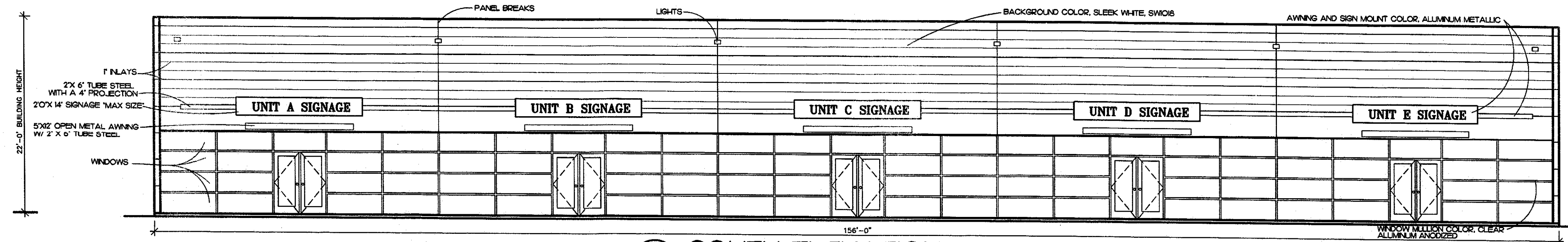
REVISIONS:

DRAWN BY: T. WAUGH

DATE:
15 APRIL 2016

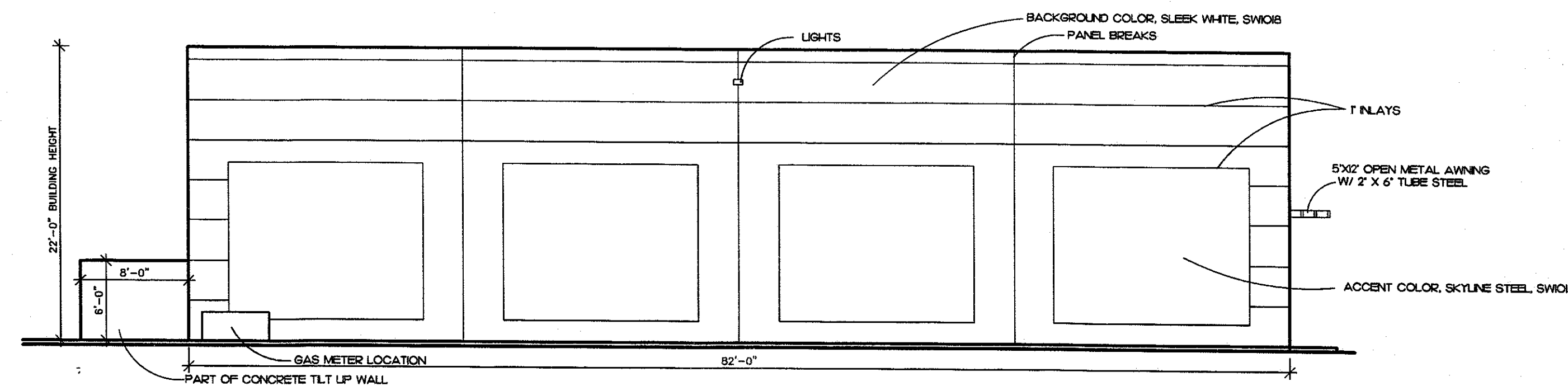
FLOOR PLAN

FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
ELEVATIONS
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 14 OF 15

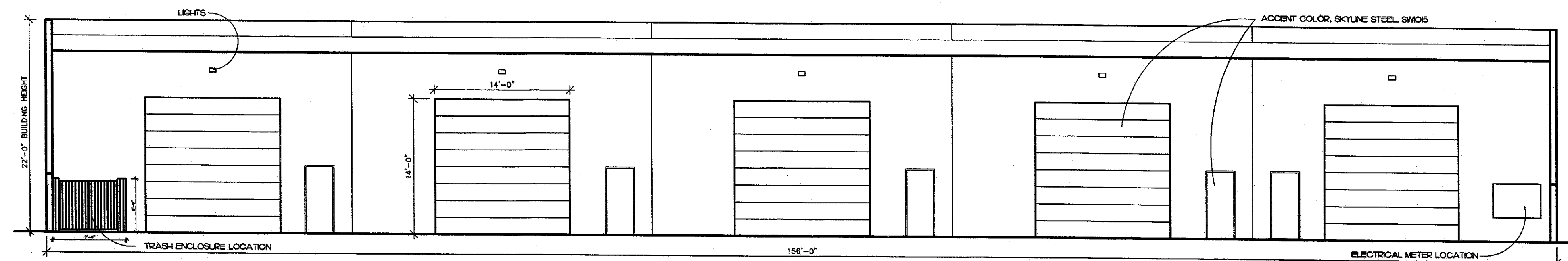


- REFER TO PAGE 15 FOR AWNING AND SIGN MOUNT DETAIL.
- 7" INLAYS ARE CHAMFERED DETAILED DURING THE LAYOUT OF THE INDIVIDUAL TILT-WALL PANEL.

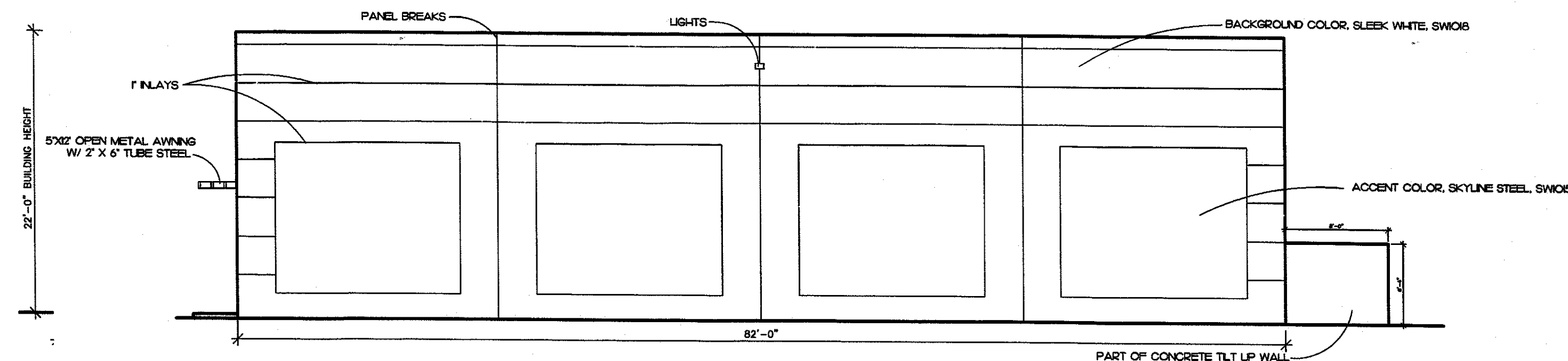
SOUTH ELEVATION
SCALE : 1/8"=1'-0"



WEST ELEVATION
SCALE : 1/8"=1'-0"



NORTH ELEVATION
SCALE : 1/8"=1'-0"



EAST ELEVATION
SCALE : 1/8"=1'-0"

FIRESTONE INFORMATION BLOCK	
ELEVATIONS	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	05/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	

SHEET 14 OF 15

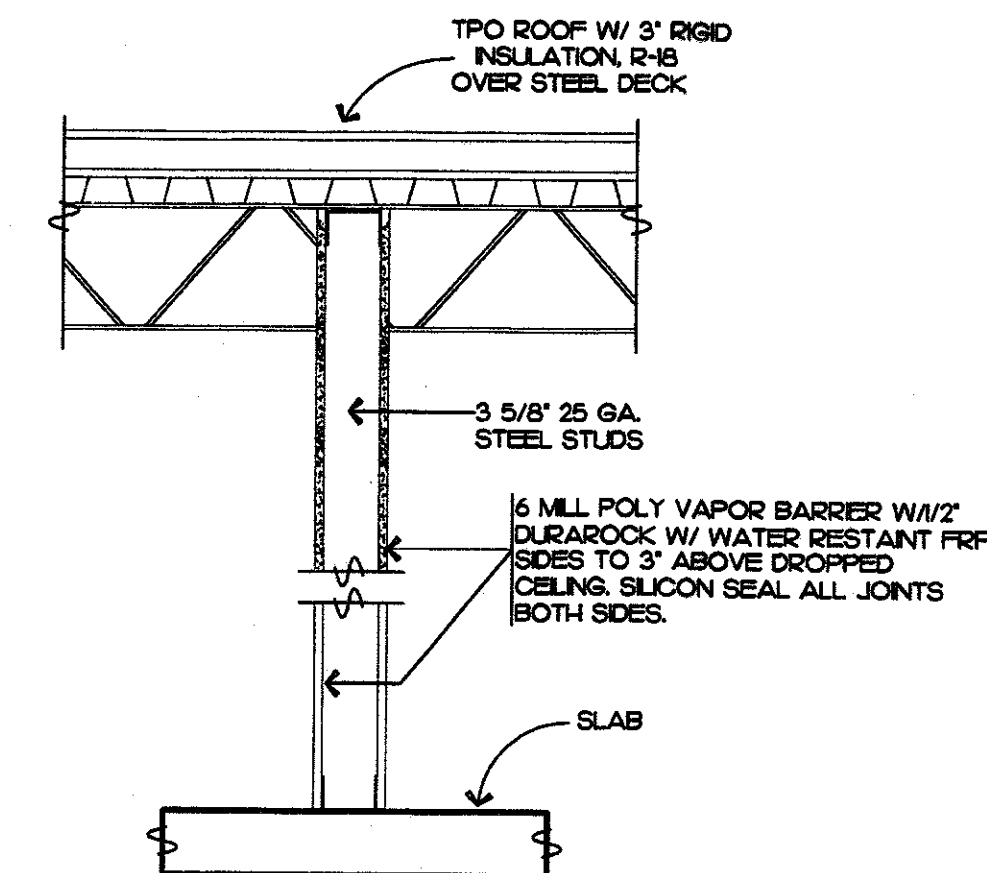
REVISIONS:

DRAWN BY: T. WALUGH

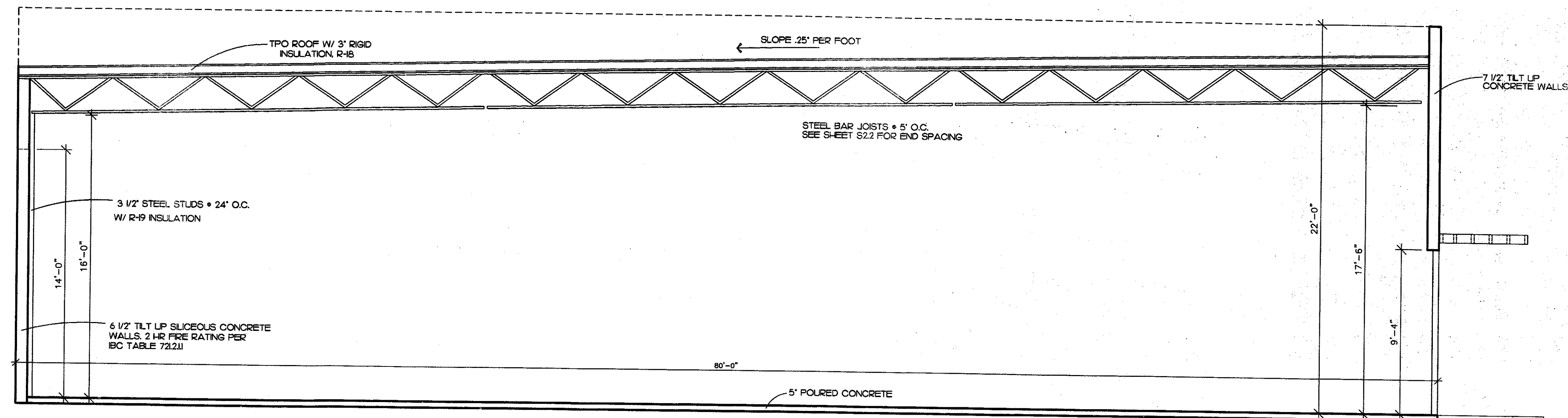
BLUESTEM TECH CENTER
TOWN OF FIRESTONE, COLORADO
waugh & associates
architecture • planning • solar design
www.waughandassociates.net
info@waughworld.com
po box 498 • niwot, colorado • 80544 • 720-494-7002

ELEVATIONS

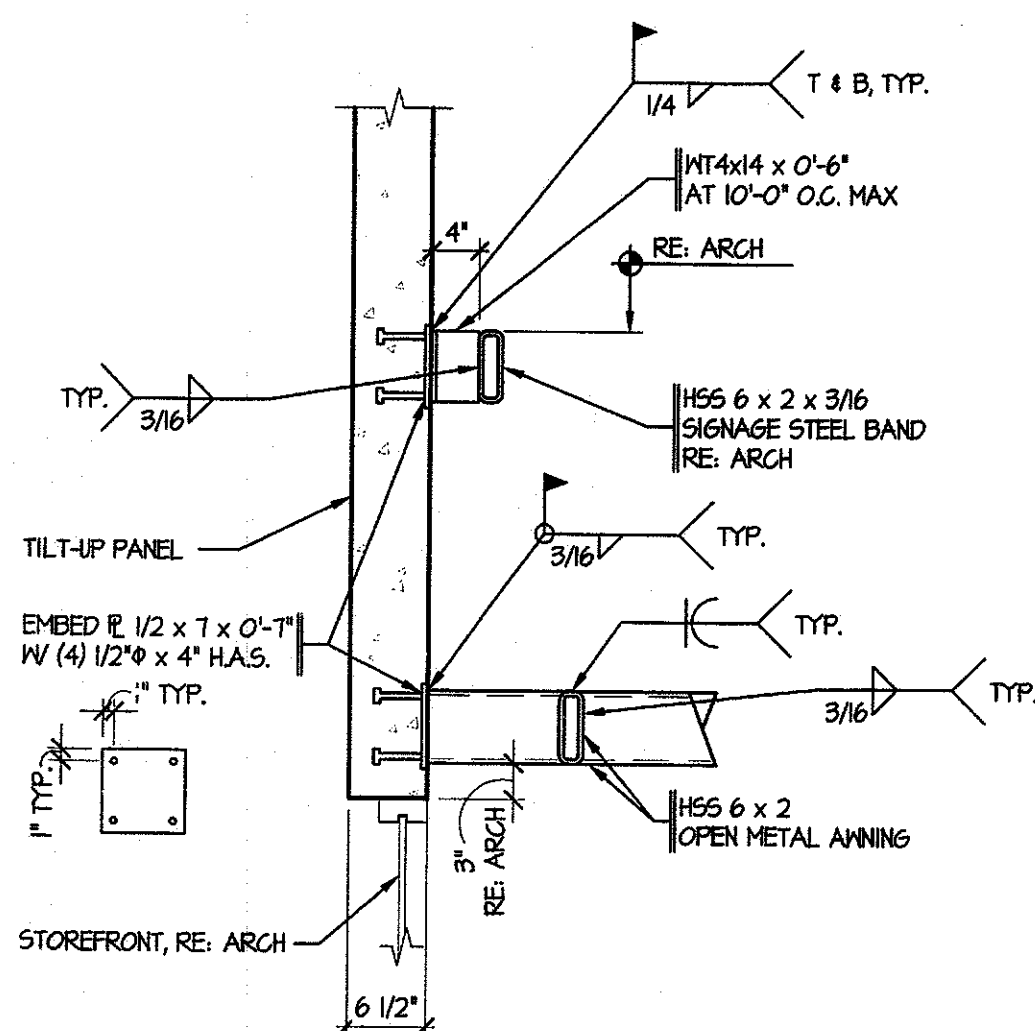
FINAL DEVELOPMENT PLAN
BLUESTEM TECH CENTER
SECTIONS & ELEVATION DETAILS
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 15 OF 15



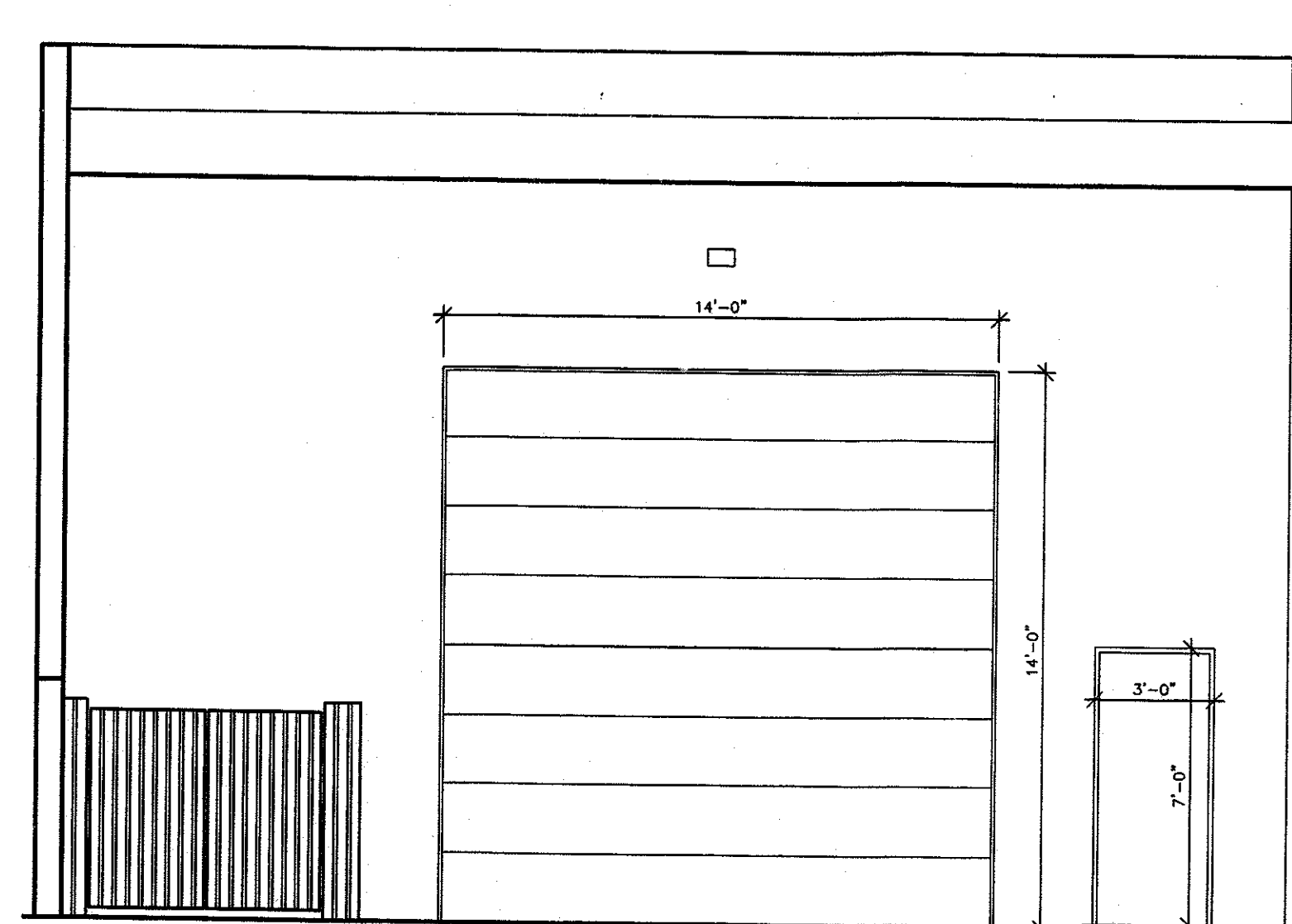
D INTERIOR WALLS - NO RATING
N.T.S.



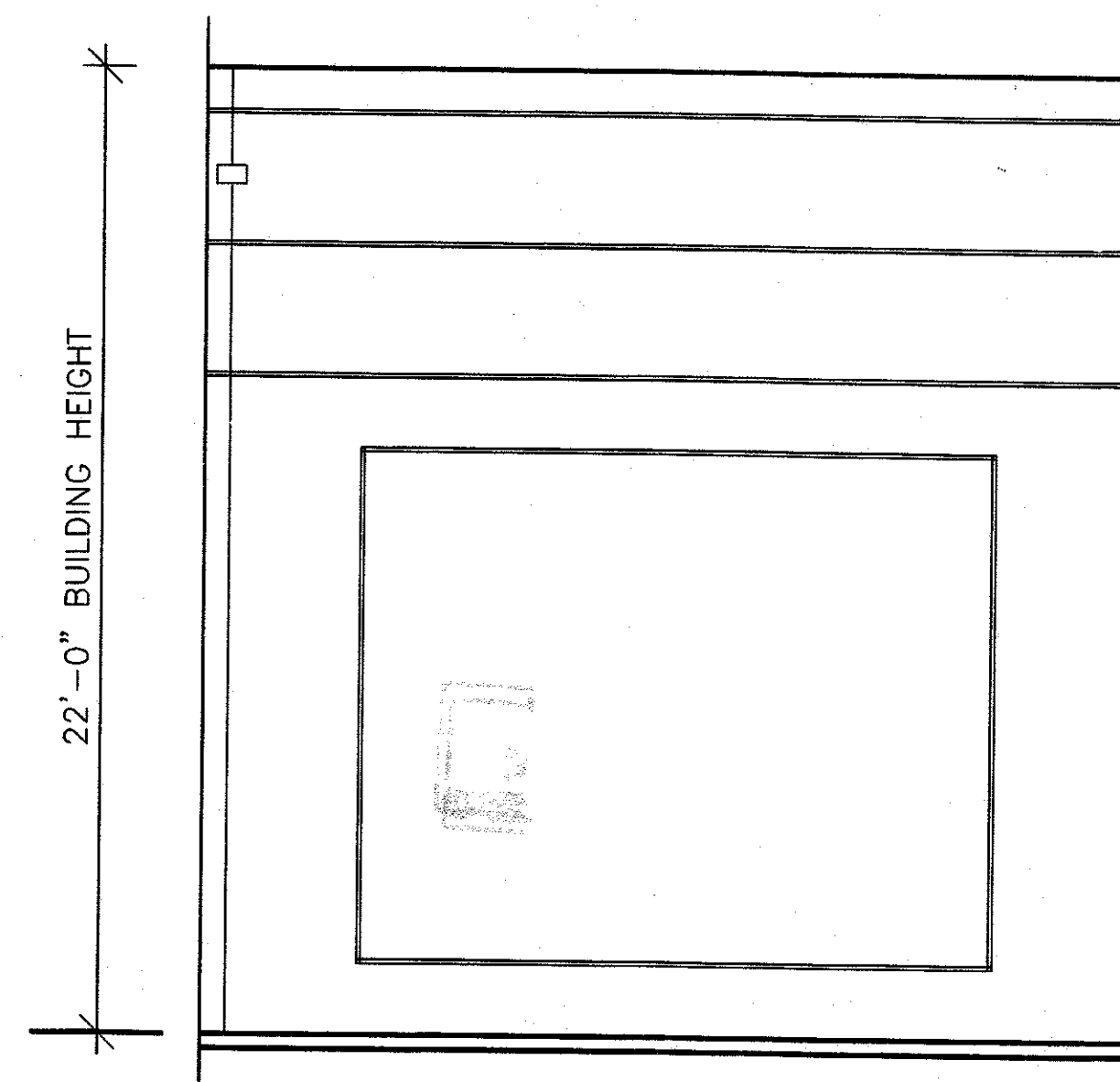
SECTION AA
SCALE : 1/4"=1'-0"



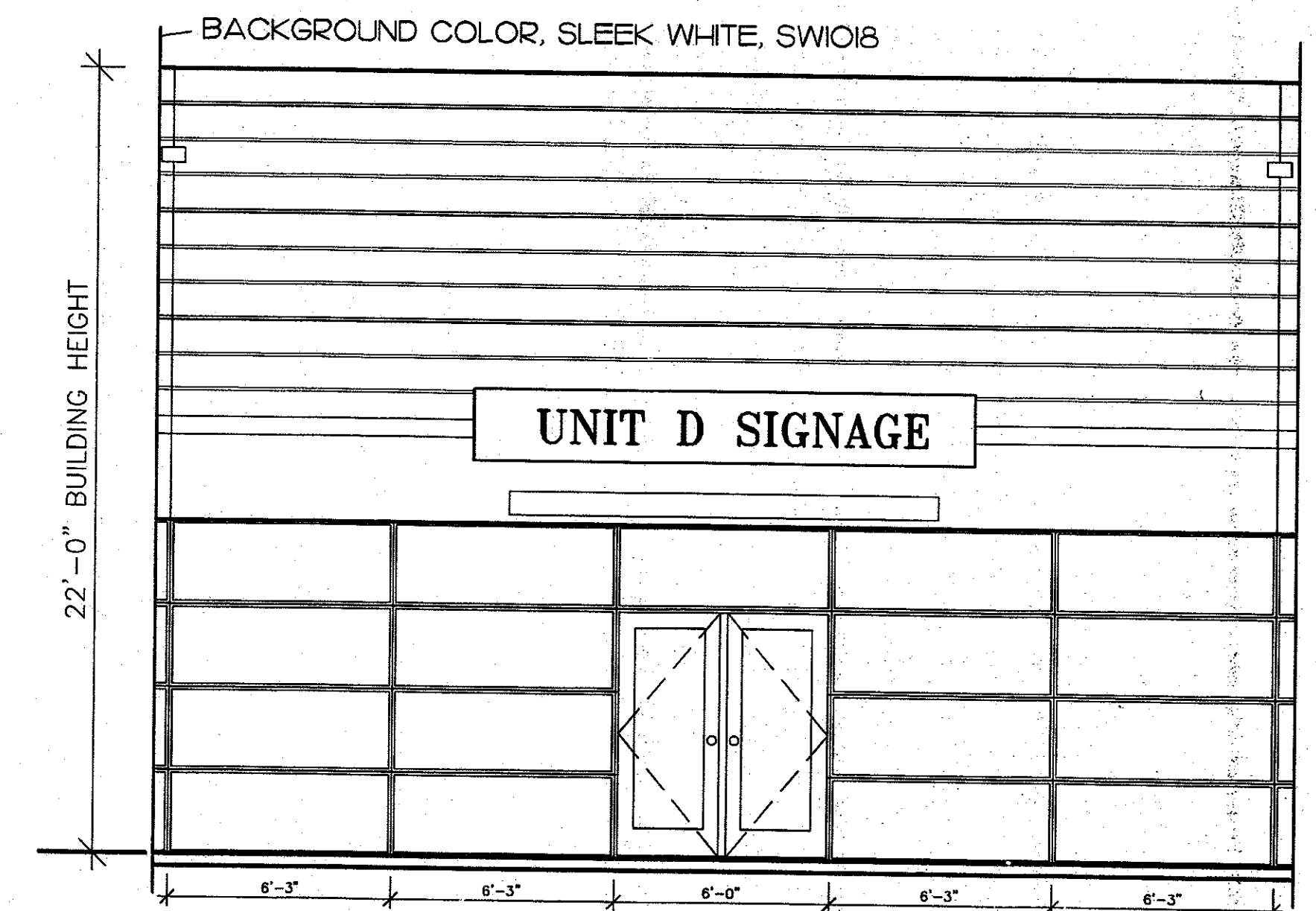
SIGNMOUNT DETAIL A-A
SCALE : 1/2"=1'-0"



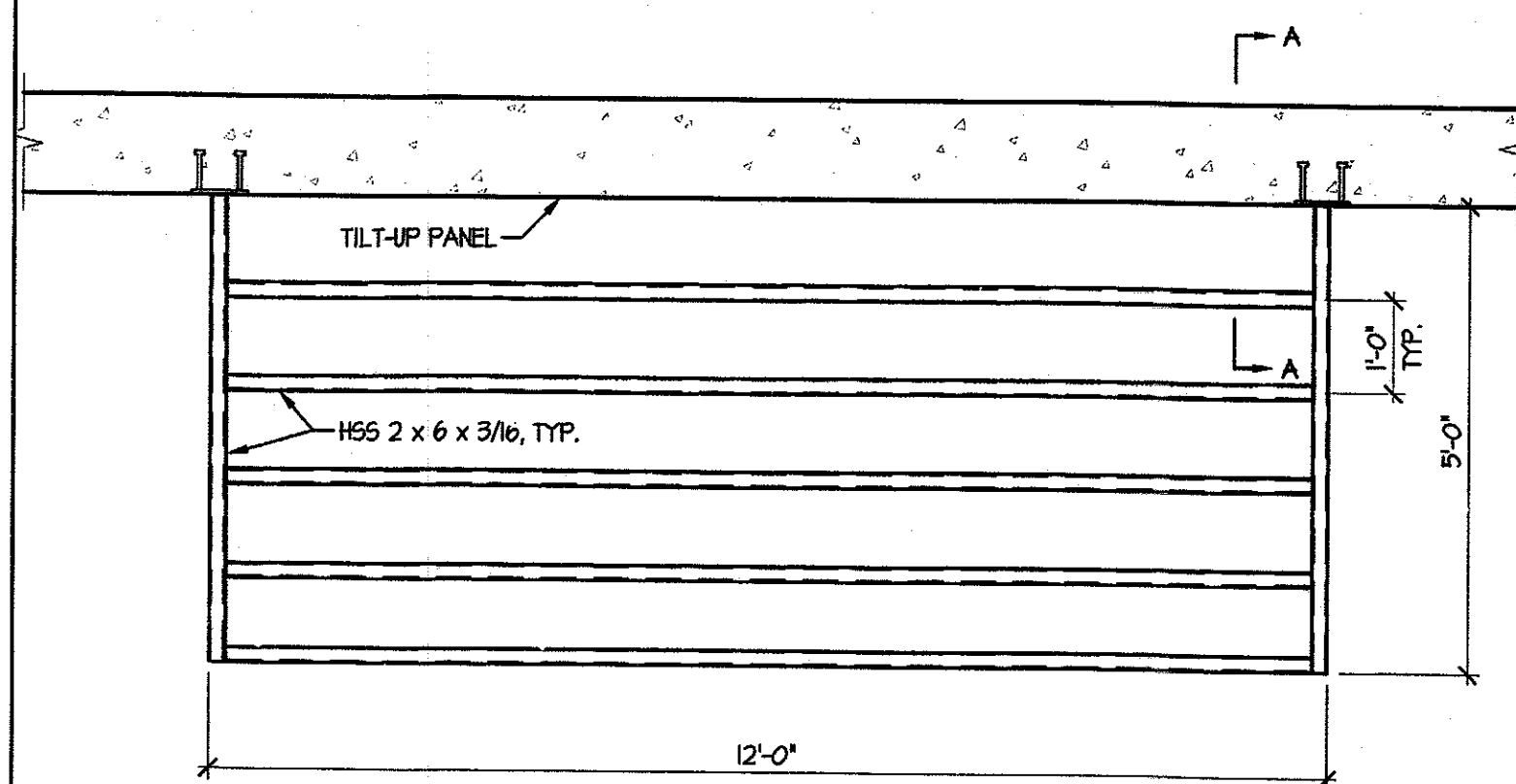
NORTH ELEVATION DETAIL
SCALE : 1/4"=1'-0"



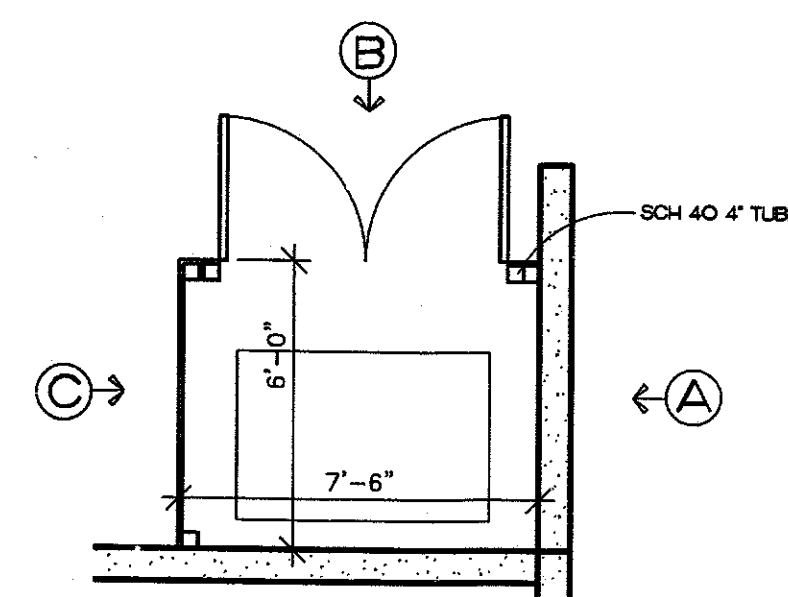
SIDE ELEVATION DETAIL
SCALE : 1/4"=1'-0"



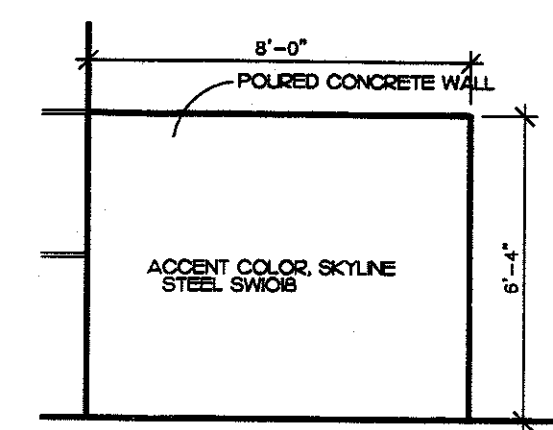
SOUTH ELEVATION DETAIL
SCALE : 1/4"=1'-0"



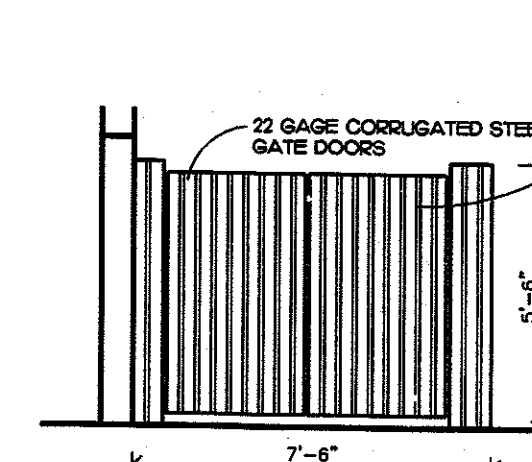
AWNING DETAIL
SCALE : 1/2"=1'-0"



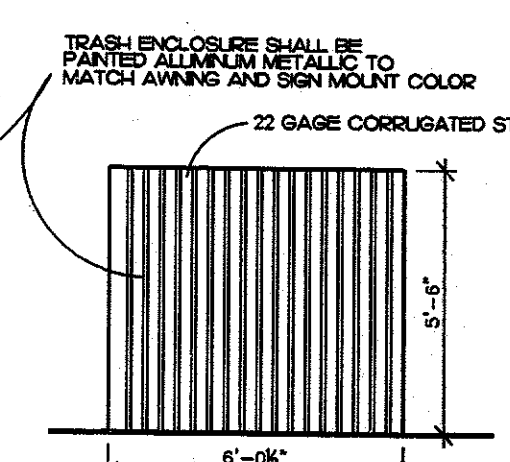
TRASH ENCLOSURE PLAN
SCALE : 1/4"=1'-0"



SIDE A
SCALE : 1/4"=1'-0"



SIDE B
SCALE : 1/4"=1'-0"



SIDE C
SCALE : 1/4"=1'-0"

FIRESTONE INFORMATION BLOCK	
SECTION E ELEVATION DETAILS	
NAME OF SUBMITTAL:	BLUESTEM TECH CENTER
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PHASE NUMBER:	N/A
PREPARATION DATE:	04/15/2016
REVISION DATE:	06/20/2016
REVISION DATE:	07/01/2016
REVISION DATE:	08/18/2016
REVISION DATE:	09/29/2016
REVISION DATE:	
SHEET 15 OF 15	

BLUESTEM TECH CENTER
TOWN OF FIRESTONE, COLORADO
waugh & associates
architecture • planning • solar design
www.waughandassociates.net
po box 498 • firestone, colorado • 80544 • 970-494-7602
e-mail info@waughandassociates.net

SECTIONS
AND
ELEVATION
DETAILS